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AGENDA

Committee	PLANNING COMMITTEE
Date and Time of Meeting	WEDNESDAY, 14 AUGUST 2019, 1.30 PM
Venue	COMMITTEE ROOM 4 - COUNTY HALL
Membership	Councillor Jones (Chair) Councillors Lay, Ahmed, Asghar Ali, Driscoll, Goddard, Gordon, Hudson, Jacobsen, Jones-Pritchard and Sattar

1 Apologies for Absence

2 Minutes

To approve as a correct record the minutes of the meeting held on 17 July 2019.

3 Declarations of Interest

To be made at the commencement of the agenda item in question, in accordance with the Members Code of Conduct.

4 Petitions

Petitions have been received in relation to the following applications in accordance with Committee Meeting Procedural Rule 14.2. The petitioners have been advised of their right to speak and the applicants/agents of their right to reply:

Application no, 19/01339/MNR, 238 Pantbach Road, Rhiwbina

Application no, 19/01682/MNR, Site of former Cardiff Scientific Laboratory, 5-13 Crofts Street, Plasnewydd

Application no, 19/01370/MNR, Former Ty Glas, 75 Ty Glas Avenue, Llanishen

Application no, A/19/00057/MNR, Former Ty Glas, 75 Ty Glas Avenue, Llanishen

Application no, A/19/00058/MNR, Former Ty Glas, 75 Ty Glas Avenue, Llanishen

Application no, A/19/00059/MNR, Former Ty Glas, 75 Ty Glas Avenue, Llanishen

5 Development Control Applications

a 19/01339/MNR, 238 Pantbach Road, Rhiwbina

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- b** 19/00017/MNR, 160-166 Strathnairn Street, Plasnewydd
- c** 19/01733/MJR, Phase 2, Land East of Church Road and North and South of Bridge Road, Old St Mellons
- d** 19/01370/MNR, Former The Ty Glas, 75 Ty Glas Avenue, Llanishen
- e** A/19/00057/MNR, Former The Ty Glas, 75 Ty Glas Avenue, Llanishen
- f** A/19/00058/MNR, Former Ty Glas, 75 Ty Glas Avenue, Llanishen
- g** A/19/00059/MNR, Former The Ty Glas, 75 Ty Glas Avenue, Llanishen
- h** 19/01682/MNR, Site of Former Cardiff Scientific Laboratory, 5-13 Crofts Street, Plasnewydd
- i** 19/01538/MJR, Parkgate House, Former County Court Building and Adjacent Land, Westgate Street, City Centre
- 6** **Applications decided by Delegated Powers - July 2019**
- 7** **Urgent Items (if any)**
- 8** **Date of the next meeting - 18 September 2019**

Davina Fiore

Director Governance & Legal Services

Date: Thursday, 8 August 2019

Contact: Kate Rees, 029 2087 2427, krees@cardiff.gov.uk

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PLANNING COMMITTEE

17 JULY 2019

Present: Councillor Jones(Chairperson)
Councillors Lay, Ahmed, Asghar Ali, Driscoll, Hudson, Jacobsen,
Jones-Pritchard and Sattar

13 : APOLOGIES FOR ABSENCE

None

14 : MINUTES

The minutes of the meeting held on 19 June 2019 was approved as a correct record and signed by the Chair.

15 : DECLARATIONS OF INTEREST

COUNCILLOR	ITEM	REASON
Jones-Pritchard	18/01092/MNR	Applicant is Agent for sale of house I part own.

16 : PETITIONS

- (i) Application no 18/01092/MNR, Greenmeadows, 102 Pendwyallt Road, Whitchurch
- (ii) Application no 19/01339/MNR, 238 Pantbach Road, Rhiwbina
- (iii) Application no 19/01238/MNR, Three Arches, Heathwood Road, Cyncoed
- (iv) Application no 19/00598/MNR, Cyncoed Consulting Rooms, 277 Cyncoed Road, Cyncoed

In relation to (iii) the petitioner spoke and the agent responded.

17 : DEVELOPMENT CONTROL APPLICATIONS

The Committee considered the schedule of development control applications submitted in accordance with the Town & Country Planning Act 1990:

RESOLVED: That pursuant to this Committee's delegated powers the following development control applications be determined in accordance with the recommendations as set out in the report of the Director Planning, Transport and Environment subject to any further amendments as detailed below and notification be given of the decisions in accordance with Section 70 of the Town and Country Planning Act 1990 or Section 16 or Section 74 of the Planning (Listed Building & Conservation Act 1990)

APPLICATIONS GRANTED

18/01092/MNR – WHITCHURCH/TONGWYNLAIS

GREENMEADOWS, 102 PENDWYALLT ROAD

Construction of 5 houses and reconfiguration of existing bungalow together with all associated works.

18/02874/MJR – CATHAYS

1-6 GUILDFORD CRESCENT

Demolition of terrace properties

19/00598/MNR – CYNCOED

CYNCOED CONSULTING ROOMS, 277 CYNCOED ROAD

The demolition of the existing building and erection of 4 new apartments.

19/01238/MNR – CYNCOED

THREE ARCHES, HEATHWOOD ROAD

Erection of Children's Play Area, extension to existing paved seating area and outside bar area within the public house amenity grounds.

APPLICATIONS DEFERRED

19/00017/MNR

160-166 STRATHNAIRN STREET

Demolition of all existing buildings and construction of 10 self contained apartments (7 X 1 Bed/ 3 X 2 Bed) with onsite amenity, cycle storage and refuse stores.

REASON: In order for a site visit to this location to take place.

19/01339/MNR – RHIWBINA

238 PANTBACH ROAD

Demolition of part two storey and single storey buildings and construction of three storey building containing two retail units and a one bedroom flat at ground floor and three duplex apartments at first and second floor.

REASON: In order for a site visit to this location to take place.

18 : APPLICATIONS DECIDED BY DELEGATED POWERS - JUNE 2019

Noted

19 : URGENT ITEMS (IF ANY)

None

PETITIONS & LOCAL MEMBER OBJECTIONS

COMMITTEE DATE: 14/08/2019

APPLICATION No. **19/01339/MNR** APPLICATION DATE: 01/05/2019ED: **RHIWBINA**

APP: TYPE: Full Planning Permission

APPLICANT: Coray Developments

LOCATION: 238 PANTBACH ROAD, RHIWBINA, CARDIFF, CF14 6AX

PROPOSAL: DEMOLITION OF PART TWO STOREY AND SINGLE STOREY BUILDINGS AND CONSTRUCTION OF THREE STOREY BUILDING CONTAINING TWO RETAIL UNITS AND A ONE BEDROOM FLAT AT GROUND FLOOR AND THREE DUPLEX APARTMENTS AT FIRST AND SECOND FLOOR

RECOMMENDATION 1 : That, subject to relevant parties entering into a binding legal agreement with the Council under the provisions of **SECTION 106** of the Town and Country Planning Act 1990, within 6 months of the date of this Resolution unless otherwise agreed by the Council in writing, in respect of matters detailed in paragraph 5.3 of this report, planning permission be **GRANTED** subject to the following conditions:

1. C01 Statutory Time Limit
2. The development shall be carried out in accordance with the following approved plans and documents:
 - 2275.PL.01 - Existing and proposed site plan
 - 2275.PL.02 REV A – Proposed floor plans and elevations
 - 2275.PL.03 REV B – Proposed new build renders
 - 2275.PL.06 - Proposed building rear elevation

Reason: For the avoidance of doubt as to the extent of the permission.

3. No development shall take place until a detailed surface water drainage scheme for the site, based on sustainable drainage principles and an assessment of the hydrological and hydrogeological contact of the development, have been submitted to and approved in writing by the Local Planning Authority (LPA). The scheme shall be subsequently implemented in accordance with the approved details. The scheme to be submitted shall:
 - a. Undertake infiltration testing in accordance with BRE365 guidance. Testing is to be completed and results submitted to demonstrate (or otherwise) the use of infiltration SuDS;
 - b. Demonstrate that the surface water drainage system(s) are

- designed in accordance with CRIRA C753;
- c. Demonstrate detailed design (plans, network details and calculations) in support of any surface water drainage scheme, including details of any attenuation system and outfall arrangements. Calculations should demonstrate the performance of the drainage system for a range of return periods and duration inclusive of the 1 in 1 year, 1 in 2 year, 1 in 30 year, 1 in 100 year and 1 in 100 year plus 30% allowance for climate change return periods;
 - d. Demonstrate the proposed allowance for exceedance flow and associated overland flow routing;
 - e. Provide information about the measures taken to prevent pollution of the receiving groundwater and/or surface waters.

Reason: In the interests of the proper drainage of the site, in accordance with policy EN10 of the Cardiff Local Development Plan.

4. No development shall take place until details of the implementation; maintenance and management of the sustainable drainage scheme required by condition 3 have been submitted to and approved in writing by the local planning authority. The scheme shall be implemented and thereafter managed and maintained in accordance with the approved details. Those details shall include:
 - i. A timetable for its implementation;
 - ii. A management and maintenance plan for the lifetime of the development which shall include the arrangements for the adoption by any public body or statutory undertaker, or any other arrangement to secure the operation of the sustainable drainage system throughout its lifetime.

Reason: In the interests of the proper drainage of the site, in accordance with policy EN10 of the Cardiff Local Development Plan.

5. No development shall take place until such time as a proportionate groundwater assessment, including for long term seasonal monitoring, has been undertaken to identify the likely risk of groundwater flooding. Where groundwater is identified, a scheme to manage and mitigate the risk associated with flooding from this source should be submitted to and approved in writing by the Local Planning Authority.

Reason: In the interests of the proper drainage of the site, in accordance with policy EN10 of the Cardiff Local Development Plan.

6. The car parking spaces shown on the approved plans shall be marked as being for the use of residents of the flats only and shall not be used in association with the retail units at any time.

Reason: In the interests of the management of parking demand, in accordance with policy T5 of the Cardiff Local Development Plan and Supplementary Planning Guidance "Managing Transportation Impacts (Incorporating Parking Standards) April 2018.

7. Notwithstanding the details shown on the approved plans, none of the apartments shall be occupied and none of the retail units brought into beneficial use until facilities for the secure and/or sheltered storage of cycles for residents of the flats and staff and customers of the retail units have been provided in accordance with details that have been submitted to and approved in writing by the Local Planning Authority, and the approved facilities shall be retained in perpetuity.

Reason: To ensure that adequate provision is made for the secure parking of cycles in accordance with policies KP5 and T5 of the Cardiff Local Development Plan.

8. Prior to the commencement of development full details of both hard and soft landscape works shall be submitted to and approved in writing by the Local Planning Authority. These details shall include:

- proposed finished levels;
- hard surfacing materials, which shall include block paving for the car parking area;
- minor artefacts and structures (e.g. planters and handrails);
- proposed and existing services above and below ground level;
- planting plans (including schedules of plant species, sizes, numbers or densities, and in the case of trees, planting, staking, mulching, protection, soil protection and after care methods);
- an implementation programme;
- a landscape management plan, including management responsibilities and maintenance schedules.

The hard and soft landscaping works shall be carried out in accordance with the approved details and implementation programme and shall be managed and maintained in accordance with the approved landscape management plan.

Reason: To maintain and improve the appearance of the area, in the interests of visual amenity and to mitigate against the effects of climate change and adapt to its impacts, in accordance with policies KP5 and KP15 of the Cardiff Local Development Plan.

9. No development shall be carried out until there has been submitted to and approved in writing by the local planning authority a plan indicating the positions, design, materials and type of boundary treatment to be erected and a timetable for its erection. The boundary treatment shall be erected in accordance with the approved plan and timetable.

Reason: In the interests of visual and residential amenity, in accordance with policy KP5 of the Cardiff Local Development Plan.

10. Prior to the commencement of development, details of the siting and appearance of an enclosure for the storage of refuse and recycling containers shall be submitted to and approved in writing by the Local Planning Authority and thereafter refuse and recycling containers shall be stored in accordance with the approved details.

Reason: In the interests of visual amenity and waste management, in

accordance with policies KP5 and W2 of the Cardiff Local Development Plan.

11. The first floor bedroom window to flat 2 in the North West elevation shall be obscurely glazed and non-opening to a height of at least 1.8m above the finished floor level of that room and shall thereafter be so maintained.
Reason : To ensure that the privacy of users of the adjoining garden is protected in accordance with policy KP5 of the Cardiff Local Development Plan.
12. Prior to development commencing, details of the proposed parking spaces and footway improvements/resurfacing adjacent to those spaces (and in the vicinity of the Heol y Bont/Pantbach Road junction), to include details of the removal of the kerbing of the redundant access and reinstatement of full height footway, shall be submitted to and approved in writing by the Local Planning Authority. The approved details shall be implemented prior to the development being put into beneficial use.
Reason: To ensure that the use of the proposed development does not interfere with the safety of traffic or pedestrian accessibility, in accordance with policies T5 and T6 of the Cardiff Local Development Plan.
13. No development shall take place until a scheme showing the architectural detailing of the building has been submitted to and approved in writing by the Local Planning Authority and the development shall not be brought into use until the approved scheme is implemented.
Reason: To ensure a satisfactory finished appearance to the development, in accordance with policy KP5 of the Cardiff Local Development Plan.

RECOMMENDATION 2: The applicant is advised that on the 7th January 2019 Schedule 3 of the Flood and Water Management Act 2010 was enacted. This affects all new developments where the construction area is of 100m² or more. Cardiff Council is aware that your application for planning permission was validated after the recent legislative change in which Schedule 3 of the Flood and Water Management Act was enacted and therefore may be subject to surface water drainage proposals under the SAB application process. It is recommended that the developer engage in consultation with the Cardiff Council SAB team, as the determining SuDS Approval Body (SAB), in relation to their proposals for SuDS features. Cardiff Council are aware that this is new legislation and as such is offering a free pre-application service for the first year. To arrange discussion regarding this please contact SAB@cardiff.gov.uk In the meantime, further information can be found at: <https://www.cardiff.gov.uk/ENG/resident/planning-and-suds/suds-approval-body/> Alternatively, the legislation set by Welsh Government can be reviewed here: <https://gweddi.gov.wales/topics/environmentcountryside/epq/flooding/drainage/>

RECOMMENDATION 3: The applicant is advised that the owners/developers of all new residential units are required to purchase the bins required for each unit. The bins have to meet the Council's specifications and can be purchased directly by contacting the Waste Management commercial team on 029 20717500. Further information regarding waste/recycling and the types of bins required is available in the Supplementary Planning Guidance "Waste Collection and Storage Facilities", which can be found on the Council's website.

RECOMMENDATION 4: The applicant is advised that a commercial contract is required for the collection and disposal of all commercial waste. By law (Environmental Protection Act, 1990, section 34) all commercial premises have a duty of care to ensure that their waste is transferred to and disposed of by a registered waste carrier. Owners or developers of commercial developments/properties who require Cardiff County Council to collect and dispose of their waste can contact the commercial services department on 029 20717500.

RECOMMENDATION 5: The applicant is advised that, as mentioned in section 3.11 of the Waste Collection and Storage Facilities Supplementary Planning Guidance, it is considered best practice to have a Site Waste Management Plan for demolition projects. Materials should be reused and recycled as much as possible.

RECOMMENDATION 6: The developer is advised to contact Cardiff Council Asset Management (AssetManagement@Cardiff.gov.uk) for the necessary Highway licences for any works which would directly abut the adopted highway.

1. **DESCRIPTION OF PROPOSED DEVELOPMENT**

- 1.1 This application seeks full planning permission for the demolition of a two storey detached former bank that is currently in use as a hairdressing salon and its replacement with a three storey building containing 2 x retail units and a one-bedroom flat at ground floor level and 2 x 3 bedroom and 1 x 2 bedroom apartments on the first and second floors.
- 1.2 The ground floor commercial units (class A1 retail use) would have internal areas of 69 and 72 square metres and would be expected to provide 4 full time and 2 part time jobs.
- 1.3 The building will be 15m wide at ground floor level on the Pantbach Road frontage, which is around 3.5m wider than the existing building, and will be approximately 22.5m long (the existing building being around 16.5m long including its rear extensions). There will be a gap of around 2m between the front elevation and the footway on Pantbach Road, which will accommodate steps, a level access into the retail units and three small strips of planting. The space to the side of the building, fronting onto Heol Y Bont, will contain a further area for landscaping, a bin storage area within a timber structure, 2 cycle stands and four car parking spaces. A covered cycle store and an additional bin storage area are proposed to be provided to the rear of the building. Access

into the apartments will be from Heol Y Bont.

- 1.4 At first and second floor level the side elevation facing Heol y Bont will feature projecting balconies with flat roofed extensions above, finished in zinc cladding, which will also be used as a finishing material on the front elevation. The main body of the building will be finished in white render and the roof will be of natural slate. A two storey extension on the side of the building abutting the boundary with the Canolfan Beulah garden will be finished in red brick. There will be large areas of glazing to the front elevation which will be recessed at the first and second floor levels, forming additional shallow balconies for one of the flats.

2. **DESCRIPTION OF SITE**

- 2.1 The application site occupies a corner location bounded by Pantbach Road and Heol Y Bont at the southern end of the Rhiwbina Village Local Centre. To the north is the Canolfan Beulah (community church centre and garden) and to the east, are residential properties. On the opposite side of Heol Y Bont there is an Indian food shop/ takeaway and opposite the site on Pantbach Road is a single storey chiropractic clinic with residential bungalows further to the south.
- 2.2 There is a single detached building on the site, facing Pantbach Road. The building measures around 11.5m wide (including single storey flat roofed side extension) x 16.5m long (including two rear extensions) and has a steeply pitched roof rising to 8m. The main part of the building and two of the extensions are finished in white painted render with the longest rear extension being brick. The front elevation contains a central entrance door flanked by two windows with brick surrounds, with a fascia above.
- 2.3 To the rear of the building is a car park bounded by a brick wall. The side of the building is set back from Heol Y Bont by 3.5m – 6m and there is a small unenclosed forecourt fronting Pantbach Road. The ground slopes down towards the north and there is a low retaining wall along half of the frontage.

3. **SITE HISTORY**

- 3.1 17/00208/MNR – Proposed extension & works to provide 1 no. retail unit to provide coffee shop, 1 no retail unit to provide hairdresser, 3 no. 3 bedroomed apartments. Refused – proposed building out of keeping with the scale, pattern and appearance of development in the surrounding area and detrimental to the amenities of residents of 1, Heol Y Bont and users of the Canolfan Beulah gardens in that the building would appear obtrusive and overbearing. Appeal dismissed.
- 3.2 08/02131/W – Installation of automated telling machine
- 3.3 05/00568/W - Installation of automatic telling machine
- 3.4 04/01092/W – DDA implementation works. new insitu concrete access ramp and steps to front entrance, with mild steel painted grey handrails. install new external task lighting to front and side elevation

- 3.5 01/01145/N – Removal of existing ramp (non-compliant) and the installation of a new ramp with handrails
- 3.6 89/01169/N – Proposed extension to existing banking premises to form interview room.

4. **POLICY FRAMEWORK**

- 4.1 *Cardiff Local Development Plan 2006-2021:*
 - KP5 (Good Quality and Sustainable Design);
 - KP13 (Responding to Evidenced Social Needs);
 - EN10 (Water Sensitive Design);
 - T5 (Managing Transport Impacts);
 - R1 (Retail Hierarchy);
 - R5 (Local Centres);
 - C3 (Community Safety/Creating Safe Environments);
 - W2 (Provision for Waste Management Facilities in Development).
- 4.2 *Supplementary Planning Guidance:*
 - Waste Collection and Storage Facilities (October 2016).
 - Cardiff Infill Sites (November 2017).
 - Managing Transportation Impacts (Incorporating Parking Standards) (2018).
 - Shopfronts and Signage (October 2011).
- 4.3 *Planning Policy Wales (Edition 10 – December 2018):*
 - 2.2 All development decisions, either through development plans policy choices or individual development management decisions should seek to contribute towards the making of sustainable places and improved well-being.
 - 3.4 Meeting the objectives of good design should be the aim of all those involved in the development process and applied to all development proposals, at all scales.
 - 3.6 Development proposals must address the issues of inclusivity and accessibility for all.
 - 3.7 Developments should seek to maximise energy efficiency and the efficient use of other resources (including land), maximise sustainable movement, minimise the use of non-renewable resources, encourage decarbonisation and prevent the generation of waste and pollution. An integrated and flexible approach to design, including early decisions regarding location, density, layout, built form, the choice of materials, the adaptability of buildings and site treatment will be an appropriate way of contributing to resilient development.
 - 3.9 The layout, form, scale and visual appearance of a proposed development and its relationship to its surroundings are important planning considerations.
 - 3.11 Local authorities are under a legal obligation to consider the need to prevent and reduce crime and disorder in all decisions that they take.
 - 3.47 Higher densities should be encouraged in urban centres and near major public transport nodes or interchanges, to generate a critical mass of people to support services such as public transport, local shops and schools
 - 4.1.31 Planning authorities must ensure new housing, jobs, shopping, leisure and services are highly accessible by walking and cycling.

4.1.32 Provision for active travel must be an essential component of development schemes and planning authorities must ensure new developments are designed and integrated with existing settlements and networks, in a way which makes active travel a practical, safe and attractive choice.

4.1.34 New development must provide appropriate levels of secure, integrated, convenient and accessible cycle parking and changing facilities. As well as providing cycle parking near destinations, consideration must also be given to where people will leave their bike at home.

4.1.36 Planning authorities must direct development to locations most accessible by public transport. They should ensure that development sites which are well served by public transport are used for travel intensive uses, such as housing, jobs, shopping, leisure and services, reallocating their use if necessary.

4.1.39 To encourage the use of Ultra Low Emission Vehicles (ULEVs), the planning system should encourage and support the provision of ULEV charging points as part of new development. Where car parking is provided for new non-residential development, planning authorities should seek a minimum of 10% of car parking spaces to have ULEV charging points. Planning authorities should ensure the level, location and type of charging provision is appropriate to the scheme and local circumstances. Consideration should be given to:

- the time users are likely to be present at the site;
- the number of vehicles accessing the site;
- the number of existing charging points in the immediate and wider area;
- other proposed emission mitigation measures.

4.1.52 Planning authorities must require good standards of car parking design, which do not allow vehicles to dominate the street or inconvenience people walking and cycling. Car parking should be overlooked by surrounding properties, to provide natural surveillance.

4.1.53 Parking standards should be applied flexibly and allow for the provision of lower levels of parking and the creation of high quality places.

4.2.22 Planning authorities will need to ensure that in development plans and through the development management process they make the most efficient use of land and buildings in their areas. Higher densities must be encouraged on sites in town centres and other sites which have good walking, cycling and public transport links.

4.2.23 Infill and windfall sites can make a useful contribution to the delivery of housing. Proposals for housing on infill and windfall sites within settlements should be supported where they accord with the national sustainable placemaking outcomes.

4.3.3 The Welsh Government identifies a number of overarching objectives for retail and commercial centres, which planning authorities should aim to deliver through their development plan and development management decisions ensuring their maximum contribution to the well-being goals. The planning system must:

- promote viable urban and rural retail and commercial centres as the most sustainable locations to live, work, shop, socialise and conduct business;
- sustain and enhance retail and commercial centres' vibrancy, viability and attractiveness; and
- improve access to, and within, retail and commercial centres by all modes of

transport, prioritising walking, cycling and public transport.

4.3.30 Although retailing (A1) uses should underpin retail and commercial centres, it is only one of the factors which contribute towards their vibrancy.

5.12.9 Adequate facilities and space for the collection, composting and recycling of waste materials should be incorporated into the design and, where appropriate, layout of any development as well as waste prevention measures at the design, construction and demolition stage.

6.4.5 Planning authorities must seek to maintain and enhance biodiversity in the exercise of their functions. This means development should not cause any significant loss of habitats or populations of species, locally or nationally and must provide a net benefit for biodiversity.

6.4.22 The presence of a species protected under European or UK legislation, or under Section 7 of the Environment (Wales) Act 2016 is a material consideration when a planning authority is considering a development proposal which, if carried out, would be likely to result in disturbance or harm to the species or its habitat and to ensure that the range and population of the species is sustained.

6.6.17 New developments of more than one dwelling or where the area covered by construction work equals or exceeds 100 square metres also require approval from the SuDS Approval Body (SAB) before construction can commence. Adoption and management arrangements, including a funding mechanism for maintenance of SuDS infrastructure and all drainage elements are to be agreed by the SAB as part of this approval. This will ensure that SuDS infrastructure is properly maintained and functions effectively for its design life.

4.4 *Technical Advice Note 4 – Retail and Commercial Development (2016).*

4.5 *Technical Advice Note 12 - Design (March 2016).*

4.6 *Technical Advice Note 18 – Transport (2007).*

5. **INTERNAL CONSULTEE RESPONSES**

5.1 *Transportation:* The existing site gains its highway access via a crossover from Heol y Bont leading into a car park. On the frontage of the site with Pantbach Road there is a level difference and a small wall. There is also a small crossover kerb which is not in use. The car park is proposed to be redeveloped and 4 parking spaces will be provided perpendicular to Heol y Bont and in the vicinity of the existing car park access, although these will extend for a greater distance on Heol y Bont than the current access. It is assumed that each of the parking spaces will be allocated to the flats, and will not be usable by staff/customers of the retail units. Whilst in principle the form of access is acceptable, we are seeking that the double yellows on both sides of Heol y Bont be extended east beyond the line of car parking (requiring a Traffic Regulation Order (TRO)) and for appropriate amendments to the footway, which would operate as a dropped kerb over the access to the parking spaces. This is to ensure that the redevelopment does not result in traffic safety issues. However, the current design would require the relocation of the telegraph pole and its new location should be marked. The parking spaces are immediately adjacent to traffic calming, and this will need to be factored into the design and this calming

may need amending.

- 5.2 At the front of the site it is proposed that there will be steps down from the retail units to the footway, as well as a level access on the south side. It will be necessary for footway improvements to be proposed in this location, including the removal of the redundant access bellmouth, and it may be necessary for street furniture to be provided to prevent unwanted parking on the footway.
- 5.3 A Section 278 legal agreement would be required to deal with the detail of the various footway/highway works set out above. A sum of £10,000 will be required to deal with the TRO process for the extended double yellow lines, (including legal and other administrative expenses, the physical costs of providing the lines and signage plus on-going monitoring of traffic and safety issues once the TROs are in place).
- 5.4 Whilst some cycle parking is shown on the plans, more detail is required, and it will need to accord with the SPG. A total of 9 cycle spaces will be needed for the flats, and these will need to be secure, covered and have minimum horizontal spacings of 0.5m (and have suitable independent access from the public highway). Similarly, cycle parking will be required for the staff of the retail units. Whilst there will also need to be cycle parking for customers of the retail units, this could be dealt with via a single Sheffield stand outside the units. Further details on cycle parking should be provided.
- 5.5 *Drainage:* Recommend deferring the application until full details relating to flood risk and surface water drainage proposals have been submitted, or imposing conditions requiring, as a minimum, the approval of a drainage strategy advising how they propose to dispose of the surface water from the site and also a site investigation report to prove/disprove the viability of infiltration methods.
- 5.6 *Waste Strategy & Minimisation Officer:* As mentioned in section 3.11 of the Waste Collection and Storage Facilities Supplementary Planning Guidance, it is considered best practice to have a Site Waste Management Plan for demolition projects. Materials should be reused and recycled as much as possible.
- 5.7 The proposed waste/recycling storage areas for the residential and commercial units have been noted and are acceptable. Each apartment will require the following for recycling and waste collections: 140 litre bin for general waste; 25 litre kerbside caddy for food waste; green bags for mixed recycling (equivalent to 140 litres). The kitchens should be designed to allow the separation of waste into three waste streams; general, recycling and food waste, in order to encourage the correct disposal of waste. A commercial contract is required for the collection and disposal of all commercial waste

6. **EXTERNAL CONSULTEES RESPONSES**

- 6.1 *Wales and West Utilities:* Have provided an extract from their mains records showing those pipes owned by Wales & West Utilities in its role as a Licensed

Gas Transporter (GT) together with a comprehensive list of General Conditions for guidance.

7. **REPRESENTATIONS**

7.1 The application has been advertised by neighbour notification. Two petitions opposing the application have been received (one of 113 signatures and one, submitted by the Beulah United Reformed Church, of 57 signatures), along with a further 30 individual objections. The reasons for objection are given as:

- 1) Increased traffic congestion. The agent's figures for traffic flow for the previous use (the bank) and are not based on any substantial evidence. The bank use did not attract much traffic.
- 2) Impact on parking in area, particularly Heol Y Bont. There will be no provision for staff or customer parking, or for disabled parking or delivery vehicles. Cars that now park at the premises will be displaced. These roads are village roads and not built to cope with the delivery of items to commercial units. Heol y Bont is reduced to single file traffic on at least four occasions per day, which is exacerbated by visitors and residents parking along the street. Residents park along the street as most households have two or three cars. The occupants of the flats are likely to have more than one car. These additional cars will be parked along Heol y Bont. The double yellow lines will prevent parking outside the proposed development, further reducing Heol Y Bont to single file traffic.
- 3) Appearance out of keeping with area, particularly the dormer/balcony elements. The building is too large, too tall, out of proportion with surrounding properties and not in keeping with the character of the area;
- 4) Detrimental impact on highway safety - inconsiderate parking and dangerous dropping-off activity by Scout hall users is already a problem; children and parents walking to local school will be at risk. The building and proposed landscaping will also hinder visibility for drivers at the junction and using the proposed parking spaces. The issue of traffic, parking and highway safety has been raised with the Police and local councillors as it has led to disturbing incidents and damage to vehicles.
- 5) Loss of privacy to adjacent community garden;
- 6) Overbearing on houses on Heol Y Bont, particularly no.1;
- 7) There is already a hair salon and plenty of coffee shops and other retail outlets in the area. There is no need for more;
- 8) Increased noise disturbance caused by business use;
- 9) The application doesn't indicate what the commercial premises will be used for or what the opening hours would be, and the figures for numbers employed are unrealistic;
- 10) Detrimental impact on the character of the area. The proportion of proposed commercial floorspace is too large – the area is supposed to be residential. It would be inappropriate and have an adverse effect on the amenity of neighbours to not keep it residential as it always has been. Two retail units are not suitable for this predominantly residential area. They will impact on the amenity of nearby occupants with the comings and goings of deliveries and customers. This argument is supported by the dismissal of an appeal relating to the proposed change of use of 4 Beulah Road from A1 retail use to mixed A1 and A3 (food and

drink) use. The Inspector considered that the comings and goings of customers visiting the proposed A3 use, whether by car or on foot, would be a source of noise and disturbance to nearby residents and that, as parking was limited outside the premises, customers visiting the proposed use would also park in the immediate area and adjacent streets thus extending any disturbance into those areas;

- 11) The applicant's statement which says the existing building makes no positive contribution to the public realm is wholly subjective.
- 12) The current owner has done very little to endear himself to the local community.
- 13) Scaffolding, narrowing of the pavement and vehicles delivering materials to the site will cause a danger during construction. Pedestrians can't be diverted onto the road.
- 14) Negative impact on the character of the adjacent Rhiwbina Garden Village Conservation area and nearby listed buildings;
- 15) The development will cause increased pollution for local residents;
- 16) The site should be redeveloped as a car park;
- 17) The proposed use as flats is out of keeping with the character of the area;
- 18) The applicants have not listened to the views of local residents and not given them a chance to give any feedback on the designs.
- 19) There will not be enough amenity space, cycle parking provision for residents and customers or space for waste storage
- 20) Loss of light to 1 Heol Y Bont, which has windows in the side elevation, and overshadowing of the surrounding area;
- 21) Increased litter and refuse problems;
- 22) The need to make the development viable by including residential units does not justify overdevelopment of the site;
- 23) Beulah church will not allow access onto its land to construct this development;
- 24) The development will be more overbearing on the adjacent church garden than the refused scheme would have been as it is taller. It will adversely affect the amenities of users of the garden;
- 25) The examples of other developments in the area submitted by the agent to justify the proposals are not comparable.

7.2 The Rhiwbina Civic Society has submitted comments on the application, stating that although this proposal addresses some of their objections to the previous application (i.e. the proposed finish, with reduced areas of glass; the inclusion of views of adjacent buildings; the inclusion of some design features that appear to be more in keeping with the surroundings) the issue of height has not been resolved, the design of the balconies is intrusive, the development will have an impact on the Rhiwbina Village conservation area and the issues of traffic impact and parking remain of concern.

7.3 Councillors Jayne Cowan, Adrian Robson and Oliver Owen object to the application for the following reasons –

a) We believe that the proposed development is out of keeping with the local character as it is much larger than the surrounding buildings. The building

comes forward of the building line on Heol y Bont and, whilst corner plots are often statement buildings, this is out of scale with those opposite and adjacent to it. Due to the gradient of the railway bridge, the construction would be the most prominent building as you approach Rhiwbina village from Pantbach Road, dominating the immediate area.

b) The frontage to Heol y Bont is a design which is not the local vernacular – in fact we are struggling to recall another example of this type of design in the Rhiwbina ward. It also appears that the frontage to Pantbach Road will be changed to essentially a glass ground floor.

c) We would question whether there is adequate amenity space for residents of the new flats, for example the ground floor (which includes a flat) does not appear to have any garden space unless the parking spaces are included.

d) As with the previously rejected application, there is also an impact on the adjacent sites. It would be overbearing and obtrusive to both 1 Heol y Bont and to Canolfan Beulah gardens which is an important community and religious resource. This aspect formed a major consideration during the dismissal of the appeal of the previous application.

e) There appears to be no space for vehicles to turn around on site (unlike the current car park arrangements) and it would a vehicle reversing into or out the parking bays. The section of Heol y Bont by the site is extremely busy and parking on this road causes the road to be a pinch point. In addition the many users of the scout hall mean that traffic is regularly congested at this location and the proposals removes some on street parking which is desperately needed at this junction.

f) We would urge the committee to refuse the application for the reasons above, in addition to previous committee and appeal decisions. And we would request the committee to again consider the highways implications of the creation of four new parking spaces accompanying the removal of off-street parking.

g) We believe that this development would cause serious detriment to the existing traffic problems in Heol y Bont by the nature of the vehicle movements to access/egress the site.

7.4 Julie Morgan AM has expressed the following concerns:

I have been contacted about the planning application relating to 238 Pantbach Rd, Rhiwbina, Cardiff CF14 6AG. (19/01339/MNR) ie the plan to demolish the existing building and construct one ground floor flat, three duplex flats and two AI commercial units. I am aware that a previous, very similar application was made in 2017 and refused and that although the developer appealed against that decision, they were not successful.

Concern has been expressed to me about the size and density of the latest proposed development and this does not appear to have been changed significantly from the original application. The proposal to build 2 commercial

units and a total of 4 flats for residential use does seem to be excessive for the location. The appearance is overbearing in that location and out of keeping with the surrounding area, particularly so close to the conservation area.

Another concern relates to the traffic and parking in that area. The total number of flats is 4 but the total number of bedrooms will be 9 and if all of these are doubles, there could be 18 people living in the development, all of whom could be car owners, needing somewhere to park their cars. There will be only 4 parking spaces available for residents, leaving potentially 14 other residents to seek parking spaces on the streets nearby, where parking is already a problem. The two commercial units will also require staff, some of whom may drive to work, adding more pressure on limited parking possibilities.

Traffic in that area is also already a significant problem, with the proposed development by a very busy corner, which gets jammed with traffic. This is a particular problem when events are taking place in the Scouts Hall opposite the side of the development, on Heol y Bont. This is often the case and many parents arrive by car to drop off or collect children from there. There is therefore reason to worry about the likely increase in traffic in that area if the proposed development goes ahead.

I am aware that objections were raised previously about the loss of privacy and enjoyment of people using the garden behind Canolfan Beulah. I see that the new plans now have only one window on the back of the proposed building and that this will have obscure glazing and a restricted top opening. Although this is helpful, I still fear that the proposed development would have an unacceptable overbearing and obtrusive impact to the amenities of the users of the garden at the rear of Canolfan Beulah, as it would be larger, higher and closer to them than the current building.

8. **ANALYSIS**

- 8.1 This planning application was deferred at the Committee meeting on 17th July, 2019 for a site visit which subsequently took place on 5th August, 2019. The planning application is reported back for determination.
- 8.2 The application site lies within the Rhiwbina Village Local Centre, where A1 retail facilities are favoured, subject to the proposal being of a scale appropriate to the particular centre and the retention of residential accommodation at upper floors, in accordance with policy R5 of the Cardiff Local Development Plan. The proposal therefore raises no land use policy concerns.
- 8.2 The main considerations with regard to this proposal are the impact on visual and residential amenity and the character of the area, and whether the current proposals overcome the concerns identified by the Planning Inspector who dismissed the appeal against the Council's refusal of the previous application (17/00208/MNR). The Inspector identified the main issues as being the effect of the proposed development on the character and appearance of the surrounding area, and the effect on the amenities of neighbours.

- 8.3 On the first point, the inspector stated that :
'The proposal would introduce a building of considerable scale and massing, occupying much of its plot. Its contemporary design, including highly prominent and extensive areas of glazing and first floor balconies wrapping the Pantbach Road and Heol-y-Bont elevations, would do little to minimise its presence. That is, its significant proportions, large shallow pitched roof design and solid to void ratio of the fenestration would give the building a dramatic and bulky appearance.'
- 8.4 The Inspector had no objections to a building of contemporary design but added that *'Given the character of the surrounding built form, the considerable footprint, scale and massing of the proposed development together with its abrupt and unyielding design, I consider that it would have little visual or physical affinity with the more modestly detailed and proportioned properties to which it would most closely relate. Its overall scale, design and extensive site cover would result in a dominating and intrusive presence. It would thus have a harmful effect on its surroundings.'*
- 8.5 In terms of scale and massing, the current proposals have addressed these concerns by significantly reducing the footprint of the proposed building, respecting the existing building line to both street frontages, and minimising bulk and massing by accommodating rooms in the roof space and breaking up the elevations using projections, recesses and contrasting materials.
- 8.6 The design of the building is also improved by omitting the extensive areas of glazing and balconies wrapping around the corner of the building which were a feature of the refused scheme. There will be a large area of glazing on the right hand side of the front elevation above the shopfronts but this will be recessed and divided into smaller sections, which helps to articulate the floors along with the changes in materials, and other windows will be well-aligned and will reflect the proportions of existing windows in the area. The predominant external finishing materials – white render, brick and natural slate – reflect the materials used on existing buildings in the locality.
- 8.7 With regard to the effect on the amenities of neighbours, the Inspector in dismissing the appeal did not consider that the development would have such an unacceptable overbearing impact on the occupants of the adjacent house at 1 Heol Y Bont that planning permission should be withheld on that basis. The development now proposed is significantly narrower and less bulky than the previous scheme at its closest point to 1 Heol Y Bont, and is set further away from the boundary. Therefore there would be no reasonable grounds for refusal of this application on the basis of overbearing impact on neighbouring residents. Also, there are no upper floor windows in this elevation and the ground floor patio doors will be screened by a wall, therefore there will be no unacceptable loss of privacy to residents of 1 Heol Y Bont.
- 8.8 Regarding the amenities of users of the garden to the rear of Canolfan Beulah., the Inspector noted that *'The proposed development would extend along the entire length of the common boundary with this adjoining property. The scale and massing of the development, together with its close proximity, would have*

an unacceptable overbearing and obtrusive impact. In these particular circumstances, the intervening single storey flat roof garage would do little to minimise the adverse impact. The proposal would therefore have a harmful effect on the amenities of the users of this garden...'

- 8.9 The building now proposed does not extend along the entire length of the boundary with the Canolfan Beulah Community Church Hall and Garden but leaves a gap of around 2m at the eastern side, and this elevation has also been stepped to reduce its bulk and massing. There are now no windows proposed in the elevation facing the garden other than two ground floor windows, which will be screened by an existing garage and proposed boundary wall, and one first floor bedroom window which will be obscurely glazed. Roof lights rather than dormer windows will be used to light the second floor rooms in this part of the building, which are in any case non-habitable spaces. It should also be noted that there is a driveway, which is approximately 4.6m wide, along with the aforementioned garage, separating the application site from the church garden. A tree located within the church garden which provided a certain amount of screening, mentioned in the applicant's supporting documents, has, however been removed.
- 8.10 Given the changes to the design and scale of the proposed building, it is not considered, on balance, that refusal of the application on the grounds of overbearing impact on users of the church garden could be justified.
- 8.11 With regard to the objections received (as detailed in section 7 of this report):
- 1) Highways/Transportation officers have raised no concerns regarding traffic congestion. The proposed development is not of such a large scale that significant numbers of additional vehicles will be attracted to the site. The agent's figures for traffic flow have not been used in the consideration of this application. Highways/Transportation officers gave their views on the proposals before the agent's figures were submitted.
 - 2) Highways/Transportation officers have raised no concerns with regard to parking or deliveries. The residential units would have their own off-street parking spaces, which accord with the requirements of the Council's adopted standards as set out in the Supplementary Planning Guidance "Managing Transportation Impacts (Incorporating Parking Standards)" (2018). There is no requirement for the retail units to provide off-street car parking spaces for staff or customers, or space for delivery vehicles. The site is within the existing Local Centre, allowing for combined trips to be made, and is easily accessible by public transport and by walking and cycling. Disabled customers would be able to park on the adjacent highway. Cycle parking and storage facilities will be provided in accordance with the Council's adopted standards. There are parking and waiting restrictions on the adjacent roads which will control the times and locations at which deliveries can be made, and it would be unreasonable to refuse planning permission for this development on the grounds that it did not provide off-street delivery facilities. The houses on Heol Y Bont have off-street parking which residents can use. It cannot be assumed that occupants of the flats will have more than one car per household. Double yellow lines have been requested by Highways

- officers to help manage the parking situation.
- 3) The issue of the appearance and scale of the building is discussed above. The proposals are considered to have overcome the reasons for refusal of the previous application.
 - 4) Highways/Transportation officers have raised no concerns regarding highway safety. Illegal and dangerous parking are matters for the Council's Parking Enforcement team or the police, and are dealt with under other legislation. A copy of a letter to local residents from the Police referring to a PACT meeting has been submitted by an objector. This states that "the parking issues arise in this area due to persons attending the local hall for activities and the village shops. The requirement for parking is further increased as the majority of households now have two to three cars per household which are creating additional on street parking demand for those vehicles and their visitors' vehicles." The letter goes on to advise residents to contact the Council's civil enforcement officers with regard to parking concerns relating to traffic offences and the police regarding obstructions or dangerous parking.
 - 5) There will be no habitable room windows overlooking the adjacent garden other than one bedroom window, which will be obscurely glazed. A planning condition can be used to ensure that it remains so.
 - 6) The development will not be unacceptably overbearing when viewed from houses on Heol Y Bont. This issue is discussed above.
 - 7) The site is within the Local Centre, where planning policy encourages retail development. It is not necessary for the applicant to prove that there is a need for the proposed retail units.
 - 8) There is already a commercial unit on the site. The proposal does not involve any development that would potentially cause unacceptable noise nuisance. Excessive noise would in any case be controlled under Environmental Health legislation.
 - 9) The applicant indicates that the use of the units would be within class A1 (i.e. 'shops'). It would be unreasonable to require any further detail. Given that the site is within the local centre and the units will not be used for entertainment or hot food sales, it is not considered necessary to restrict the opening hours. The figures given for number of employees are not relevant to the consideration of the application – it is clear that there will be some employment provided by the development but the number of jobs created is not a determining factor in this case.
 - 10) The site is not within a residential area but is within the Rhiwbina Village Local Centre, where the provision of shops is in accordance with the area's character. The amount of commercial floorspace is considered to be reasonable and to be in proportion with the size of the building. The application site has always been in commercial use (i.e. bank, hairdresser, associated car park). The example of an appeal case submitted by the objector is not relevant to the determination of this application. The appeal related to a proposed class A3 use (food and drink) whereas the proposed development is for a mixed class A1 (retail) and residential use. Each application must be determined on its own merits.
 - 11) The existing building is not listed and is not within a conservation area,

and permission is not required for its demolition.

- 12) The character and actions of the applicant are not relevant to the determination of this application.
- 13) This is not a material planning consideration. Other legislation deals with issues such as the location of scaffolding and temporary works affecting the public highway.
- 14) The Inspector in considering the appeal relating to the previous application concluded that development on this site would not affect the Conservation Area or listed buildings, stating that: *'I observed that Rhiwbina Garden Village displays many of the ideas of the early pioneers of Garden City design; there is a careful approach to the layout of houses, their shape, design, orientation and grouping with a co-ordinated palette of materials throughout. It is these details and qualities that, in part, make up the garden village style that is so well preserved. Nevertheless, it is the row of shop units on Heol y Deri, and at the periphery of the CA, that would have the closest physical and visual relationship with the appeal site. It would appear that these units were built at a later date and have clearly been altered over time, albeit I accept that they may have a strong association with the local community. That being said, the cumulative effects of the alterations to the shop units, the lack of understanding of context in the design of several of the intervening buildings together with the noise and traffic on Heol y Deri and Pantbach Road results in a different ambience and character to this part of the CA. With this in mind, and as the proposed development would be read predominantly in the context of the other commercial properties and existing dwellings in the vicinity of the site which fall outside the CA, I do not consider that it would adversely affect the special features of the CA or fail to preserve the character or appearance of its setting.'*

It would therefore be unreasonable to conclude that this amended proposal would adversely affect the conservation area or nearby listed buildings.
- 15) A development of two shops and four flats will not generate any significant levels of pollution.
- 16) The site is privately owned and the Council cannot insist that it is developed in any particular way. The Council must consider the proposal that has been submitted and determine whether it is in accordance with national and local planning policies and guidance.
- 17) The proposed use – a mixture of retail development and flats - is in keeping with the character of the Local Centre.
- 18) As this is not a 'major development' as defined in the Town and Country Planning (Development Management Procedure) (Wales) Order 2012 (as amended) the developer was under no obligation to carry out any pre-application consultation with local residents. This does not constitute grounds for refusal of the application.
- 19) Highways/transportation and waste management officers are satisfied with the cycle parking facilities and waste/recycling storage space that have been illustrated on the plans, which accord with the Council's adopted standards. There will be a small amount of private outdoor amenity space for the residents of the ground floor flat, but the upper

floor flats will have only balconies for private outdoor space. However, each of these balconies will measure around 5.4 square metres, with flat 4 having an additional 2.7 square metres provided by the second balcony on the front elevation, and these will face south-west and south east. This accords with the guidance given in the SPG “Cardiff Residential Design Guide” (2017) which states that “*Balconies will need to be provided for apartments with no direct, safe or convenient access to a communal garden or other suitable public green spaces within their vicinity. They should be a minimum of 5m². They should be located in positions where they receive direct sunlight for some part of the day, and preferably with a southern aspect.*”

- 20) There would be some additional shading of the front and western side of 1 Heol Y Bont but this would not be significant and would not in itself constitute adequate grounds for refusal of the application. 1 Heol Y Bont does not have windows in the upper storey facing this site and its main outlook is to the front and rear. The proposed building is only marginally taller than a standard two storey building and will be separated from 1 Heol Y Bont by an existing driveway and garage, which will allow adequate levels of light to reach the neighbouring property. The building will not be so tall as to noticeably overshadow the surrounding area.
- 21) It cannot be assumed that customers of the shops will drop litter in the vicinity of the site, and adequate refuse/recycling facilities will be provided for the flats as well as the commercial premises. This does not constitute grounds for refusal of the application.
- 22) The reasons for including residential units in the proposals are not relevant to the determination of the application. The Council must consider the application as submitted. The viability of the development is not a material planning consideration in this case. It is not considered that the proposals constitute overdevelopment of the site as the building will be of an acceptable scale, there will be adequate car parking, cycle parking, refuse/recycling storage and outdoor amenity space and there will be no unacceptable impact on amenity.
- 23) Beulah church will not be under any obligation to allow access onto its land and can refuse to do so. This is an issue to be resolved between the two parties and is not a material planning consideration.
- 24) The ridge height of the proposed building is approximately 40cm taller than that of the building that was refused planning permission and the tallest part of the roof will be around 0.9m closer to the boundary with the church garden. However, the previous building would have been located directly on the boundary for the full length of the site and the elevation facing the gardens would have been a largely blank wall containing a row of bedroom windows at first floor level. The inspector, dismissing the appeal, noted that the proposed development would extend along the entire length of the common boundary and concluded that it was the ‘scale and massing of the development, together with its close proximity’ that would have an unacceptable overbearing and obtrusive impact. The building now proposed will have only one obscurely glazed window in this elevation facing the gardens, will not extend fully along the boundary, will be set back by around 1m from the boundary towards the rear and its massing will be further broken up by changes in eaves

heights and the use of contrasting materials. Although the building will still cause a certain amount of shading and will have an impact on views from the church gardens, it is considered that the design features identified above will mitigate this impact and that the building will not appear so overbearing that the refusal of planning permission could be justified on these grounds.

25) The examples submitted by the agent, whilst they demonstrate that there is a variety of different development types in the local area, do not by themselves justify the approval of this application. Each application is considered on its own merits.

8.12 The concerns of the Rhiwbina Civic Society are largely addressed in the response to the objections above. With regard to the design of the balconies, whilst this is contemporary and does not exactly match the traditional appearance of balconies on older properties, it is considered to be an acceptable modern interpretation of traditional features which is appropriate to the building that is proposed and will make a positive contribution to the character of the area.

8.13 With regard to the objections raised by Councillors Jayne Cowan, Adrian Robson and Oliver Owen:

a) The building will be larger than adjacent buildings but this is considered acceptable in this case. This is a corner site on a primary route within a Local Centre. The 'Infill Sites' SPG (paragraph 3.20) states '*Some appropriate sites may be able to accommodate slightly taller buildings where they make a positive contribution to the street scene, such as corner sites, on primary routes, and in higher density areas with variation in heights and massing*'. It will also be separated from adjacent buildings by at least 4m on the Pantbach Road frontage and around 8m to 1 Heol Y Bont, which will reduce its impact. There is a variation in building heights and massing in this area and an existing example of a larger building being located on a corner site within this Centre – the Beulah Church on the northern side of Beulah Road is larger than adjacent buildings but does not appear out of place due to its corner location and separation from adjoining properties. The building will be visually prominent as a result of the prevailing topography and due to other buildings in the vicinity having been set down below the level of the highway but this does not necessarily mean that it will be over-dominant or have an unacceptable impact on visual amenity or the character of the area. Regarding the building line to Heol Y Bont, the eastern end of the new development will respect this line but it will then follow the orientation of the existing building towards Pantbach Road. This reflects the existing situation, which results from the alignment of the roads. The building on the opposite side of Heol y Bont also breaches the building line.

b) There is no requirement for the building to match the 'local vernacular'. The Inspector who dismissed the appeal relating to the previous proposal stated that they had no objections to a building of contemporary design on this site. The site is not within the Rhiwbina Garden Village conservation area, where it would be expected to pay greater attention to the vernacular style, and there is already a mixture of building styles and sizes in the surrounding area. The

absence of an existing building matching this design does not necessarily mean that it is unacceptable. The large area of glazing on the ground floor is considered appropriate as the premises will be in use as shops, reflecting the existing shops and other commercial premises in the Local Centre.

c) The issue of amenity space is discussed above.

d) The impact of the development on the Canolfan Beulah gardens and on 1 Heol y Bont is discussed above.

e) Highways and transportation officers have raised no concerns regarding the car parking proposals and have not requested a turning space within the site. It should be noted that cars already have to reverse into or out of the driveways of houses on Heol y Bont and the parking spaces associated with the 'Gateway of India' on the opposite side of the road. Parking will not be permitted on the highway adjacent to the application site and a reduction in on-street parking in this location close to the junction may help to relieve some of the congestion identified by objectors, which appears to arise mainly from the use of the community hall on Heol Y Bont. Highways/transportation officers have requested a S106 financial contribution from the developer to pay for Traffic Regulation Orders and works to extend and manage the parking restrictions in the area.

f) The development will not result in the loss of any public off-street parking spaces – the current car park is in private ownership and is not available for public use. It would be unreasonable to refuse planning permission for this development on the grounds that the use of the four parking spaces will reduce the amount of on-street parking available to the general public. The on-street parking in this area is not needed by residents as the houses on Heol Y Bont have private driveways and off-street parking. On-street parking in this location is mainly used by visitors to the community hall or to the shops in the local centre. As the area is easily accessible by public transport and by walking and cycling, and given the commitment of the Welsh Government and Cardiff Council to encourage active travel and reduce reliance on the private car, it is not considered reasonable to insist that on-street parking spaces are retained. In this case it would appear that it is the inconsiderate and indiscriminate use of on-street parking that is causing many of the problems identified by residents. The proposed development will provide an off-street parking facility for new residents, who will not have to park on the road, and provide an opportunity to better manage the existing on-street parking situation.

g) Highways and Transportation officers have no concerns regarding vehicle access and egress and have identified works, such as extending the double yellow lines and reviewing the traffic calming measures, which will mitigate the impact of the development and could improve the existing situation. As the works are required as a result of the development they will be paid for by the developer via a S106 obligation.

8.14 The concerns raised by Julie Morgan AM are addressed in the response to the objections above.

8.15 In conclusion, the provision of a building containing A1 retail shops and flats is appropriate in this location within the Rhiwbina Village Local Centre in accordance with LDP policy R5 and, although the proposed building is of a contemporary design that differs from the more traditional developments in the surrounding area and will be of a larger scale than the existing and adjoining buildings, on balance this is considered to be acceptable in the context of the site. There will be no unacceptable impact on the amenities of neighbouring residents or users of the church gardens, the development will provide a reasonable standard of accommodation for future residents of the flats and changes that will be required to be made to parking restrictions and traffic calming infrastructure can be secured via a legal obligation. There would be no reasonable grounds for refusal of this application and it is recommended that permission is granted subject to a S106 obligation and conditions as set out above.

9. **OTHER CONSIDERATIONS**

9.1 *Crime and Disorder Act 1998*

Section 17(1) of the Crime and Disorder Act 1998 imposes a duty on the Local Authority to exercise its various functions with due regard to the likely effect of the exercise of those functions on, and the need to do all that it reasonably can to prevent, crime and disorder in its area. This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable increase in crime and disorder as a result of the proposed decision.

9.2 *Equality Act 2010*

The Equality Act 2010 identifies a number of 'protected characteristics', namely age; disability; gender reassignment; pregnancy and maternity; race; religion or belief; sex; sexual orientation; marriage and civil partnership. The Council's duty under the above Act has been given due consideration in the determination of this application. It is considered that the proposed development does not have any significant implications for, or effect on, persons who share a protected characteristic, over and above any other person.

9.3 *Environment (Wales) Act 2016*

The Environment (Wales) Act 2016 imposes a duty on the Local Authority to seek to maintain and enhance biodiversity in the proper exercise of its functions and in doing so to promote the resilience of ecosystems. It is considered that the proposed development does not have any significant implications for, or effect on, biodiversity.

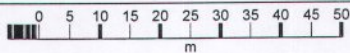
9.4 *Flood and Water Management Act 2010*

Section 12 (3) of the Flood and Water Management Act 2010 places a duty on risk management authorities (e.g. a county council for the area) to have regard to the national and local strategies and guidance when exercising any other function in a manner which may affect a flood risk or coastal erosion risk. The relevant strategies and guidance have been taken into consideration in the

determination of this application.

9.3 *Well-being of Future Generations (Wales) Act 2015*

The Well-being of Future Generations (Wales) Act 2015 places a duty on the Welsh Ministers (and other public bodies) to produce well-being objectives and take reasonable steps to meet those objectives in the context of the principle of sustainable development. The duty to improve the economic, social, environmental and cultural well-being of Wales, in accordance with the sustainable development principle, under section 3 of the Well-Being of Future Generations (Wales) Act 2015 (the WBFG Act), has been considered and account has been taken of the ways of working set out at section 5 of the WBFG Act in the determination of this application, and it is considered that this decision is in accordance with the sustainable development principle through its contribution towards one or more of the well-being objectives referred to in section 9 of the WBFG Act.

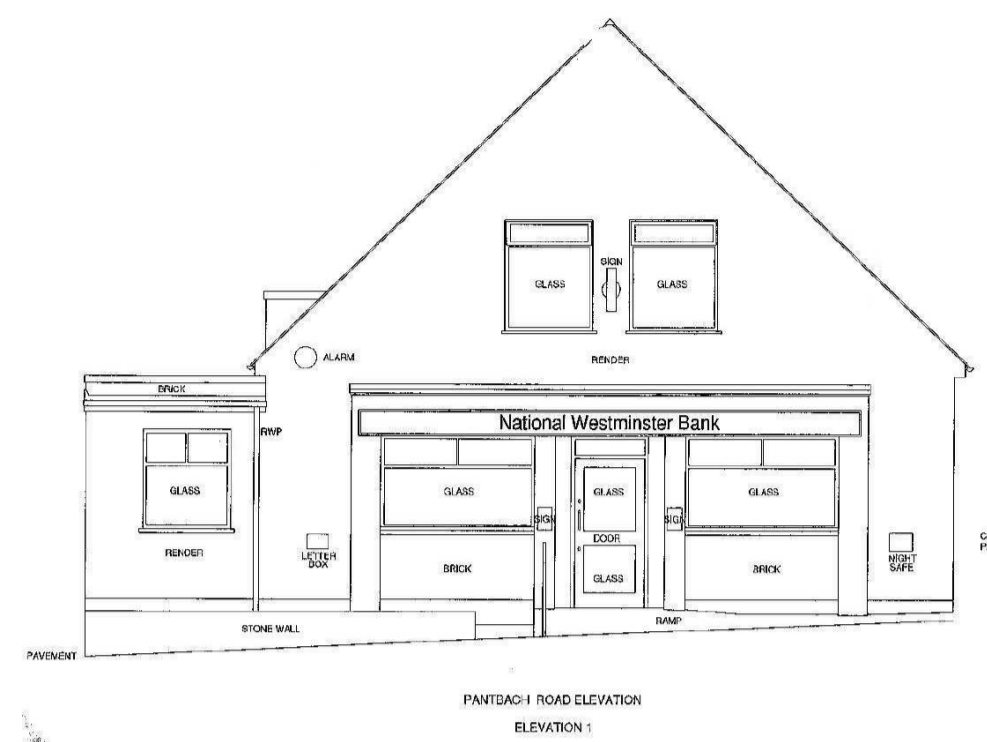


238 PANT BACH ROAD
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OS MasterMap 1250/2500/10000 scale
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1:1250 scale print at A4, Centre: 316054 E, 181012 N
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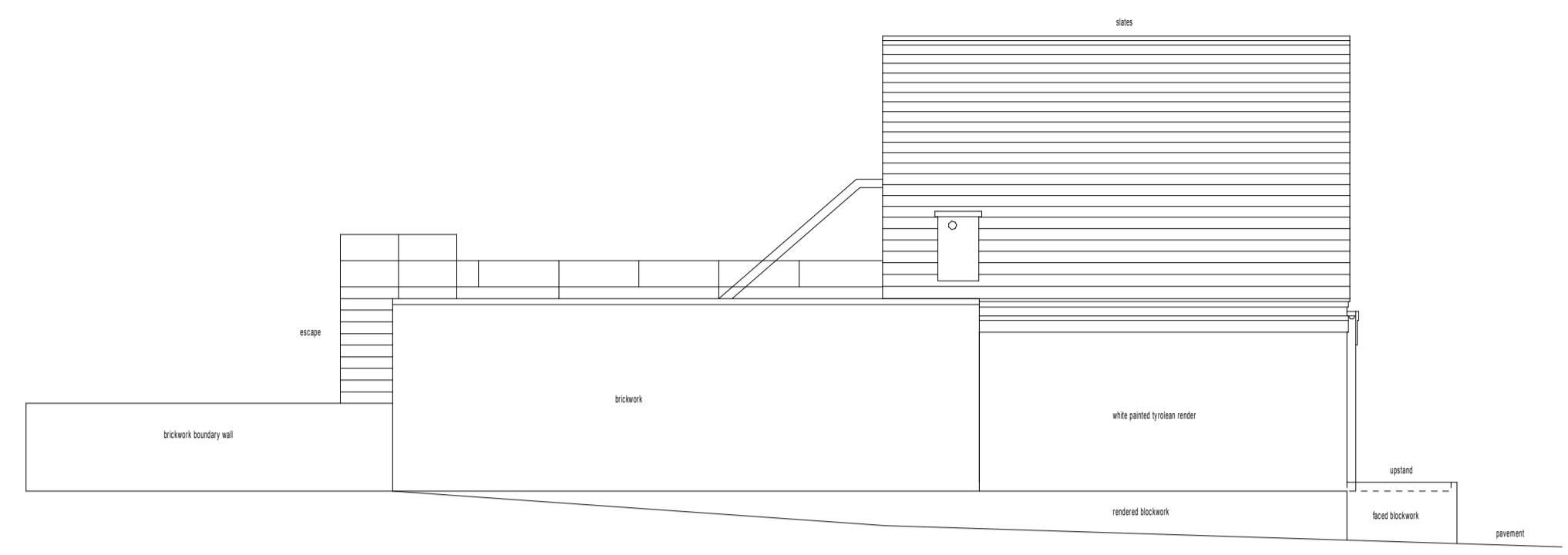
**SITE LOCATION PLAN 1:1250
FOR PLANNING APPLICATION
PURPOSES ONLY**



Existing Front Elevation
1 : 100



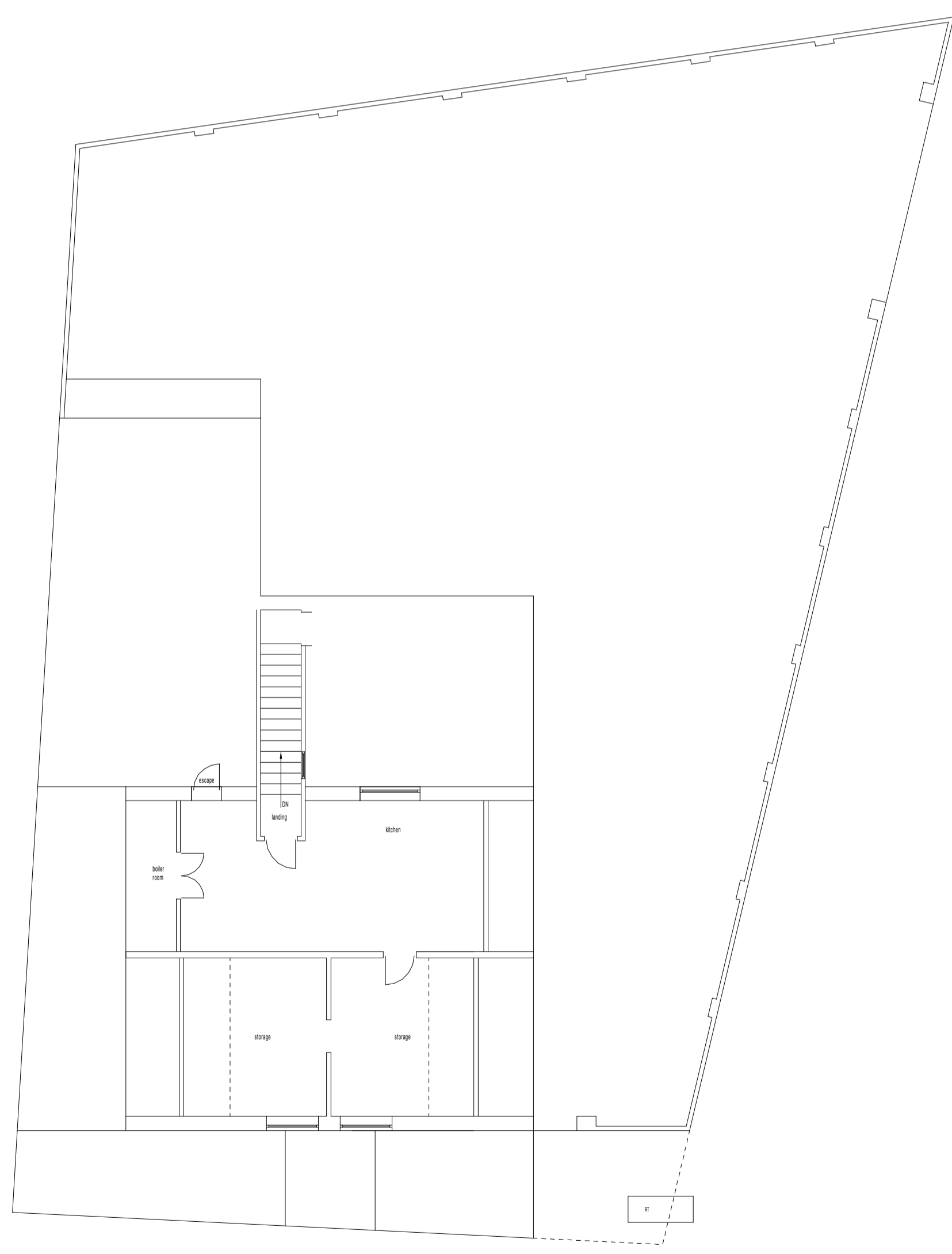
Existing Rear Elevation
1 : 100



Existing Side Elevation
1 : 100



Existing Ground Floor Plan
1 : 100
Existing Total Floor Area - 160m²



Existing First Floor Plan
1 : 100

NOTES

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Rev.	Amendment	By	Checked	Date
A	Existing building area added	DB	DD	13/06/19

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116 Ty Glas Road, Llanishen, Cardiff CF14 5EG

Job:
Redevelopment of former Nat West Bank site
238 Pantbach Road, Rhiwbina, Cardiff

Drawn	Date	Checked	Date	Approved	Date
DB	01/04/19	DD			

Title
Existing Building - Plans and Elevations

Scale
1 : 100
Job No.
-

Client Drawing No.

Rev.
A

Drawing No.
2275/PL/05



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NOTES

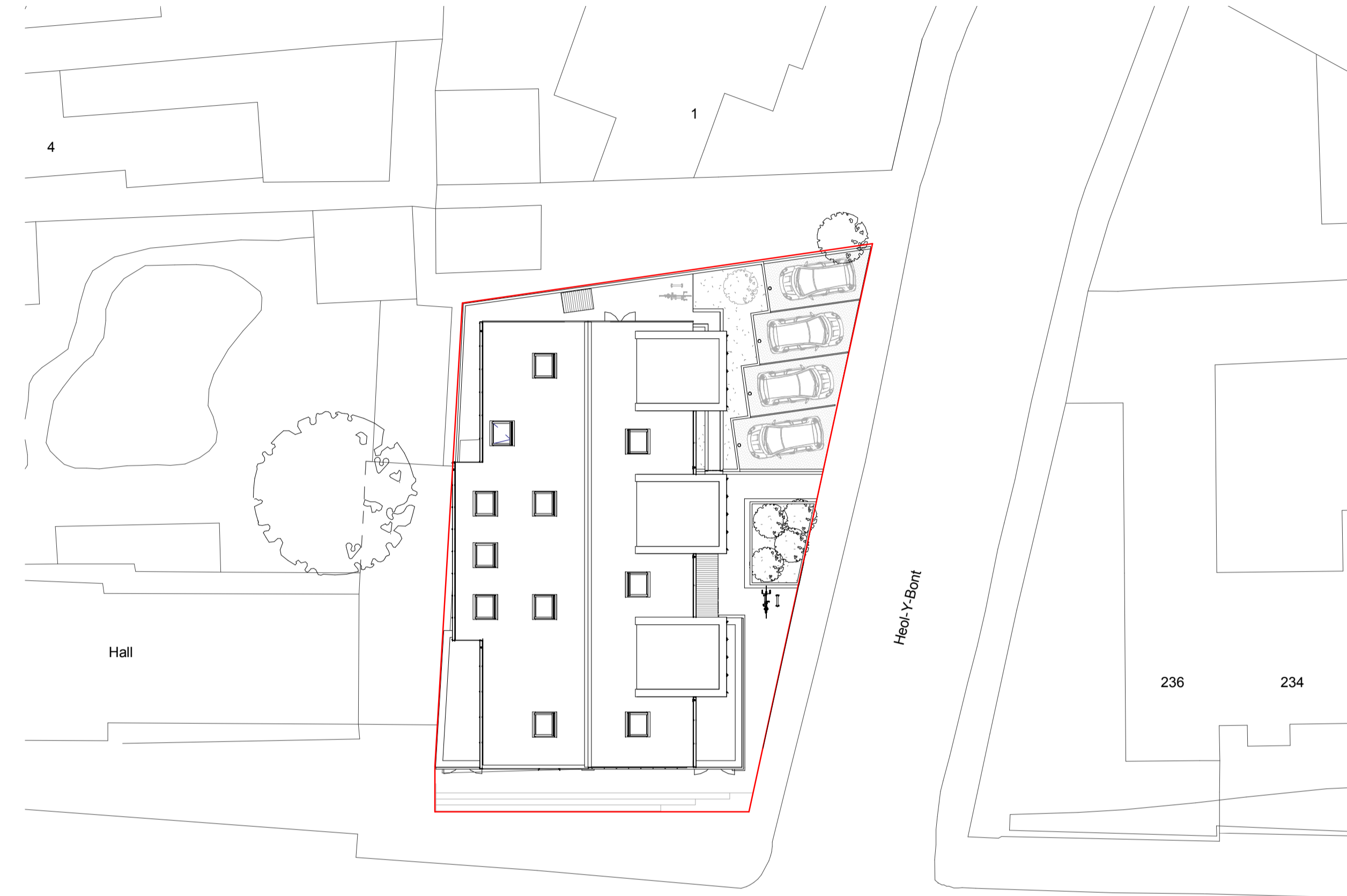
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Pantbach Rd



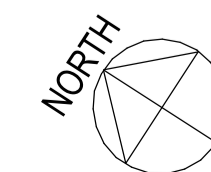
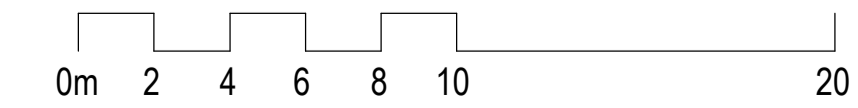
Pantbach Rd



Existing Site Plan
1 : 200

Proposed Site plan
1 : 200

— Site Boundary Line



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Job
Redevelopment of former Nat West Bank site
238 Pantbach Road, Rhiwbina, Cardiff

Drawn	Date	Checked	Date	Approved	Date
DB	23/04/19	DD			

Title
Existing and Proposed Site Plan

Scale
1 : 200

Job No.
-

Client Drawing No. Rev.

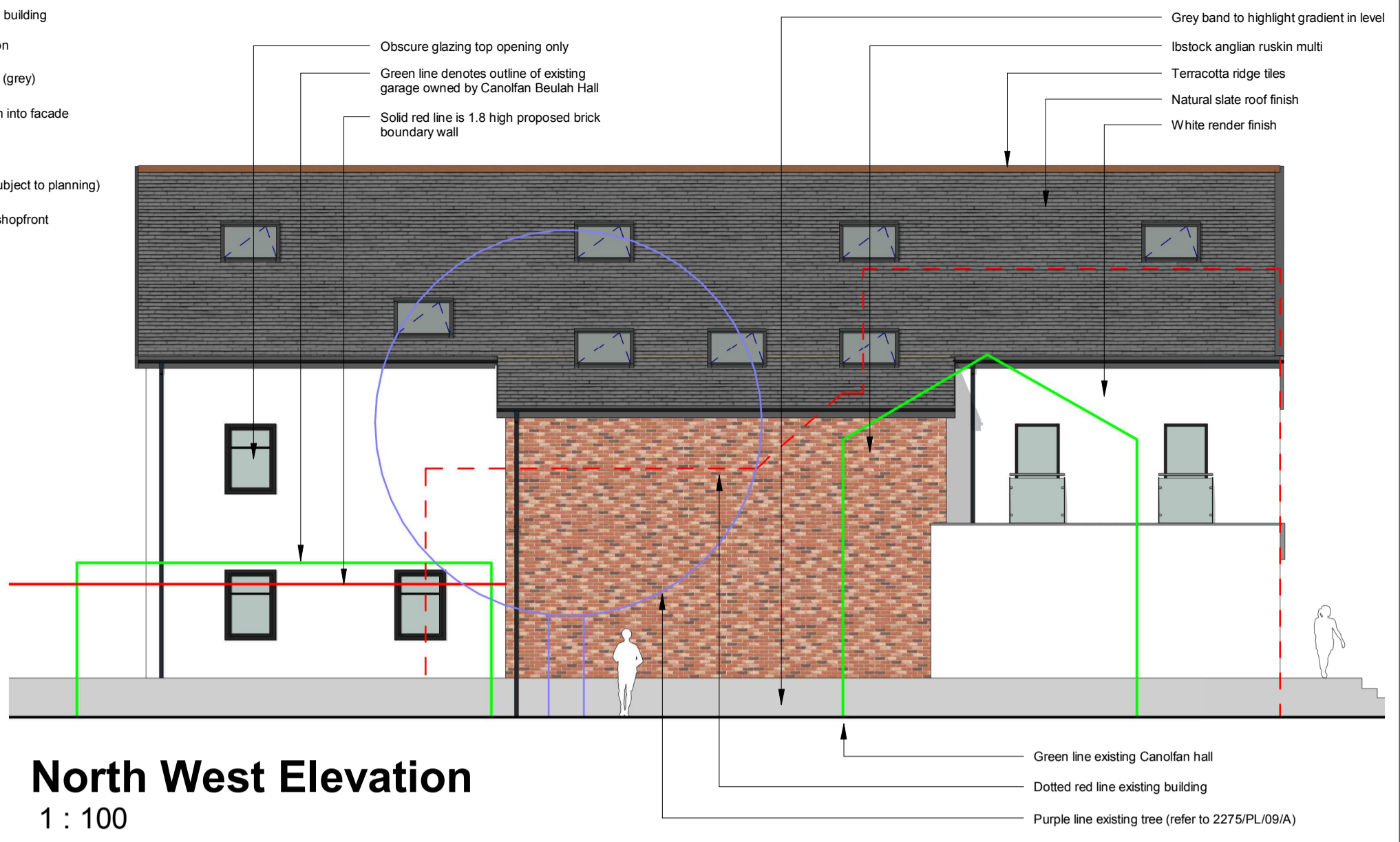
Drawing No.
2275/PL/01



Heol-Y-Bont Elevation
1 : 100



Pantbach Road Elevation
1 : 100



North West Elevation
1 : 100

NOTES

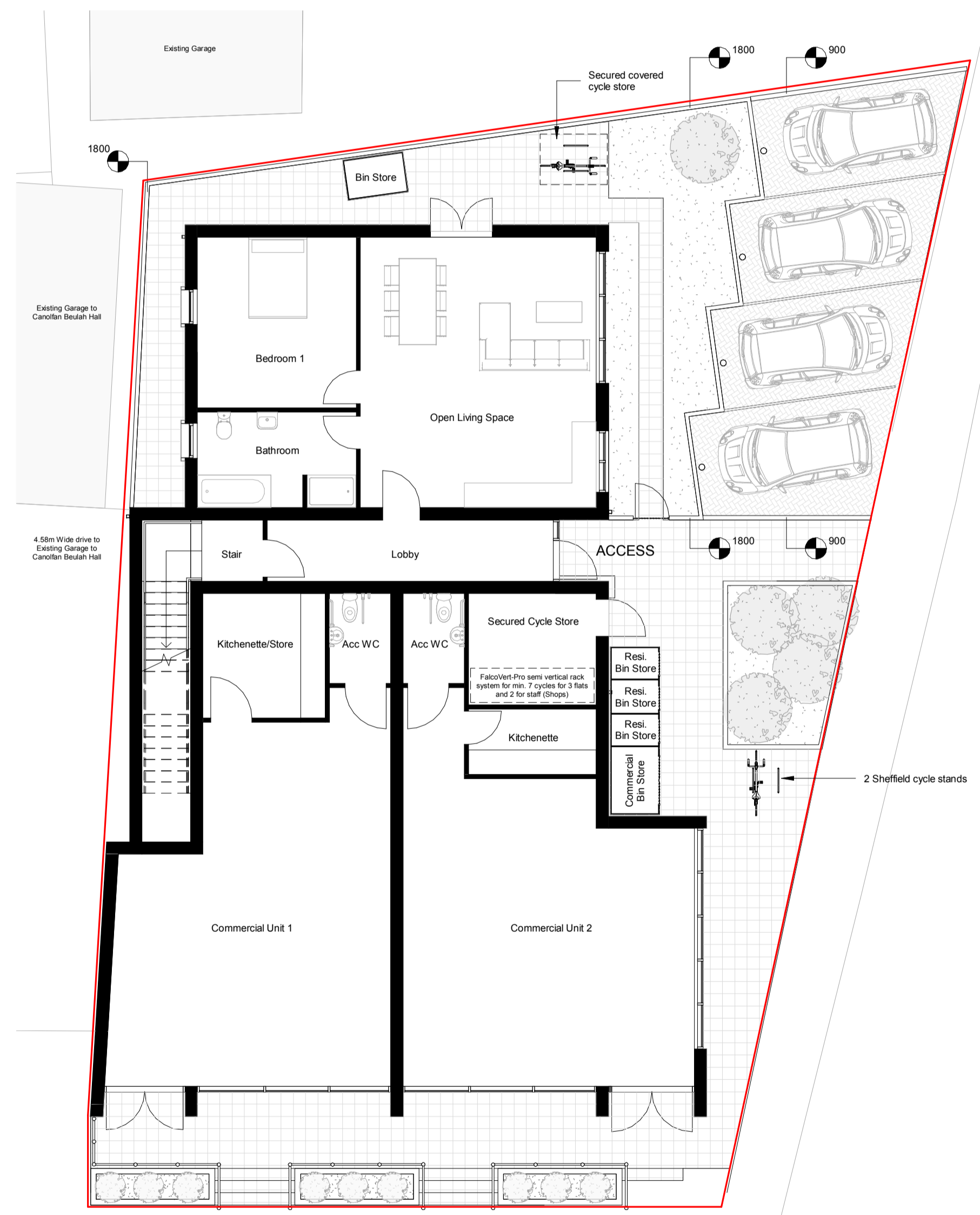
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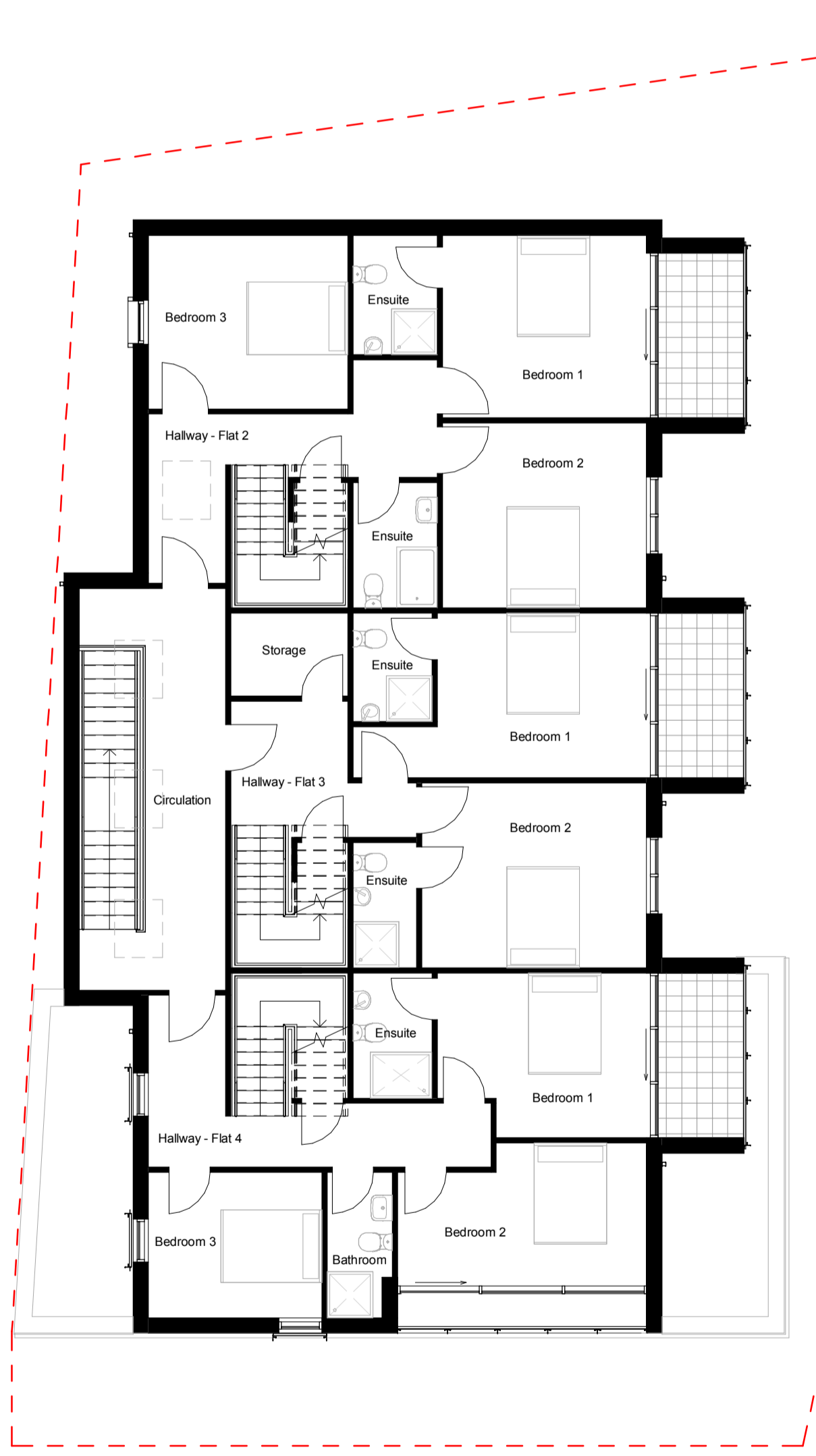
For rear elevation please refer to drawing 2275/PL/06/A

Please refer to drawing 2275/PL/09/A for existing tree on North West elevation



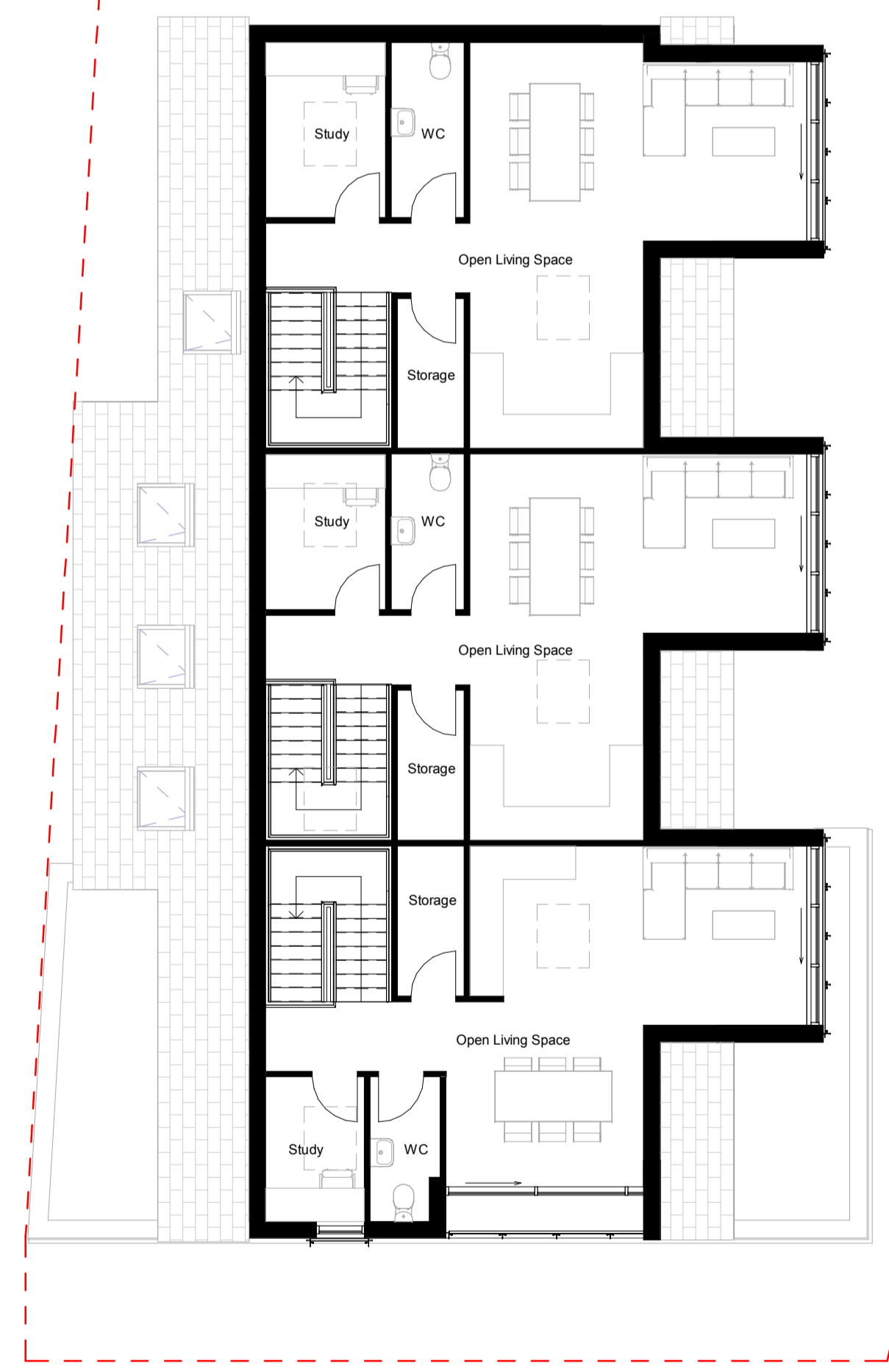
Ground Floor
1 : 100

Commercial Unit 1 - 69m² Tradeable Area - 55m²
 Commercial Unit 2 - 72m² Tradeable Area - 55m²
 Residential Unit Flat 1 - 63m²



First Floor
1 : 100

Residential Unit Flat 2 Level 1 - 64m²
 Residential Unit Flat 3 Level 1 - 55m²
 Residential Unit Flat 4 Level 1 - 62m²

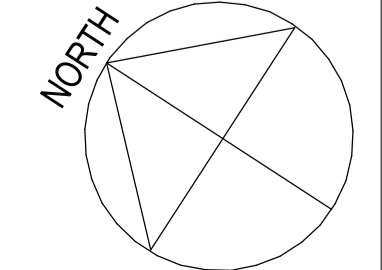
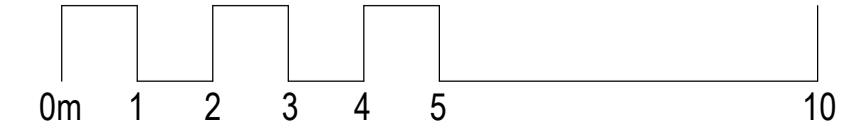


Second Floor
1 : 100

Residential Unit Flat 2 Level 2 - 47m²
 Residential Unit Flat 3 Level 2 - 45m²
 Residential Unit Flat 4 Level 2 - 45m²

- External Paving Slabs
- Grass Landscaping
- Herringbone Paving

- Site Boundary Line
- Site Boundary Below



Rev.	Amendment	By	Checked	Date
A	Front elevation revised as requested by planning officer email 05/06/2019	DB	DD	13/06/19

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Redevelopment of former Nat West Bank site
 238 Pantbach Road, Rhiwbina, Cardiff

Drawn	Date	Checked	Date	Approved	Date
DB	23/04/2019	DD			

Title:
Proposed Floor Plans and Elevations

Scale:
1 : 100

Job No.
 -

Client Drawing No.
 -

Rev.
A

Drawing No.
2275/PL/02

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Job.

Redevelopment of former Nat West Bank site
238 Pantbach Road, Rhiwbina, Cardiff

Drawn	Date	Checked	Approved	Date
DB	23/04/19	DD		

Title
**Proposed Building Rear
Elevation**

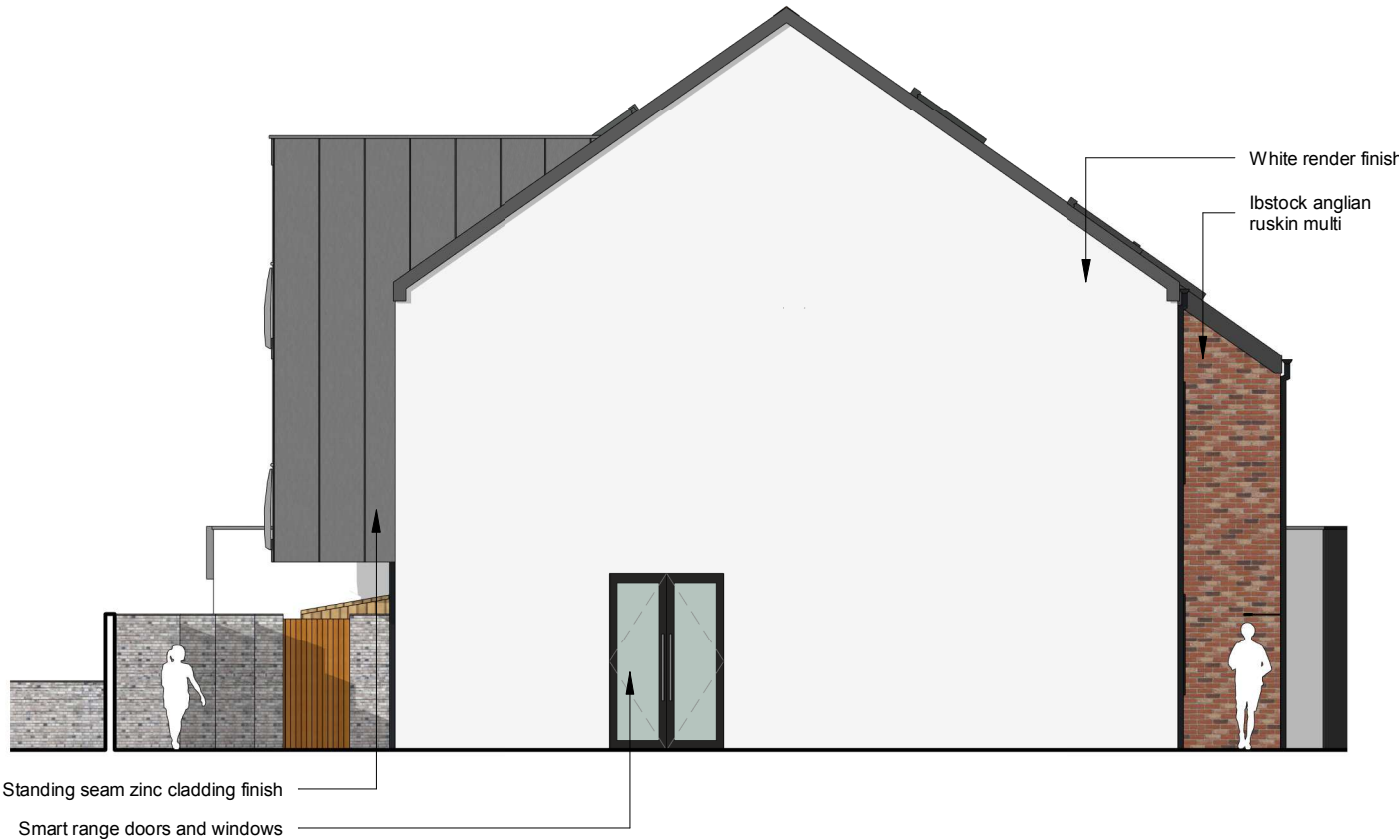
Scale
1 : 100

Job No.

-

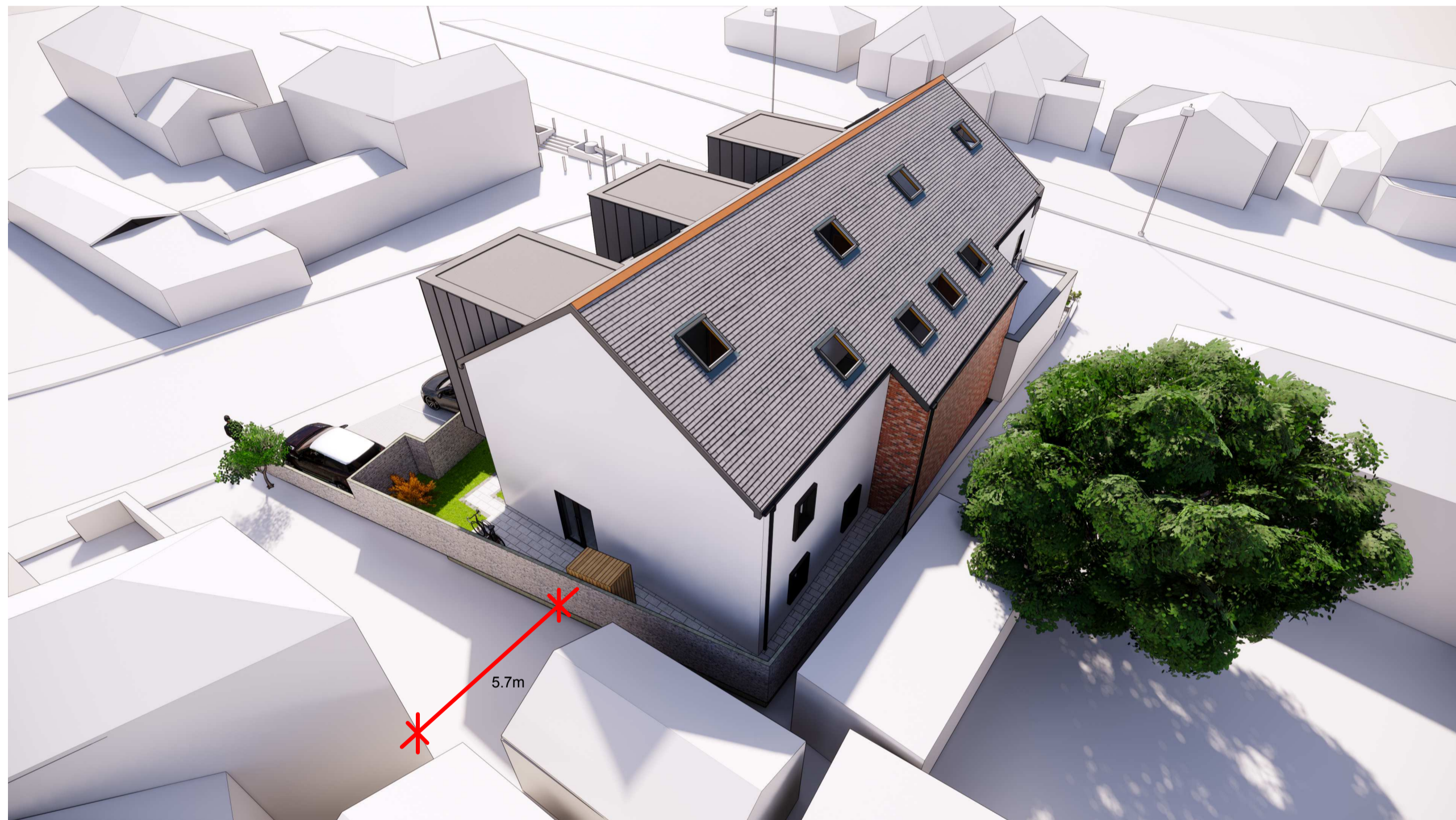
Client Drawing No.

Drawing No.
2275/PL/06



North East Elevation

1 : 100



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The existing mature tree in the garden of Canolfan Beulah Garden was cut down on 13 June 2016 for reasons unknown, presumably under instructions from the owners of Canolfan Beulah Hall.

Rev.	Amendment	By	Checked	Date
A	Front elevation revised as requested by planning officer email 05/06/2019	DB	DD	13/06/19
B	External vegetation enhanced	DB	DD	28/06/19

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Job:
Redevelopment of former Nat West Bank site
238 Pantbach Road, Rhiwbina, Cardiff

Drawn	Date	Checked	Date	Approved	Date
DB	23/04/19	DD			

Title	Scale	Job No.	Client Drawing No.	Rev.
Natwest Proposed New Build Renders		-		B
			Drawing No. 2275/PLU/03	



Existing



Proposed



Existing



Proposed



Existing



Proposed



Existing



Proposed

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Rev.	Amendment	By	Checked	Date
A	Front elevation revised as requested by planning officer email 05/06/2019	DB	DD	13/06/19
B	External vegetation enhanced	DB	DD	28/06/19

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Drawing Status: FOR PLANNING PURPOSES ONLY

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 Job
Redevelopment of former Nat West Bank site
 238 Pantbach Road, Rhiwbina, Cardiff

Drawn	Date	Checked	Date	Approved	Date
DB	01/04/19	DD			
Title		Scale			
Natwest Proposed New Build Superimposed		Job No.			
		Client Drawing No.		Rev.	
		Drawing No. 2275/PL/04		B	



Existing view from Garden of Canolfan Beulah Church Community Centre



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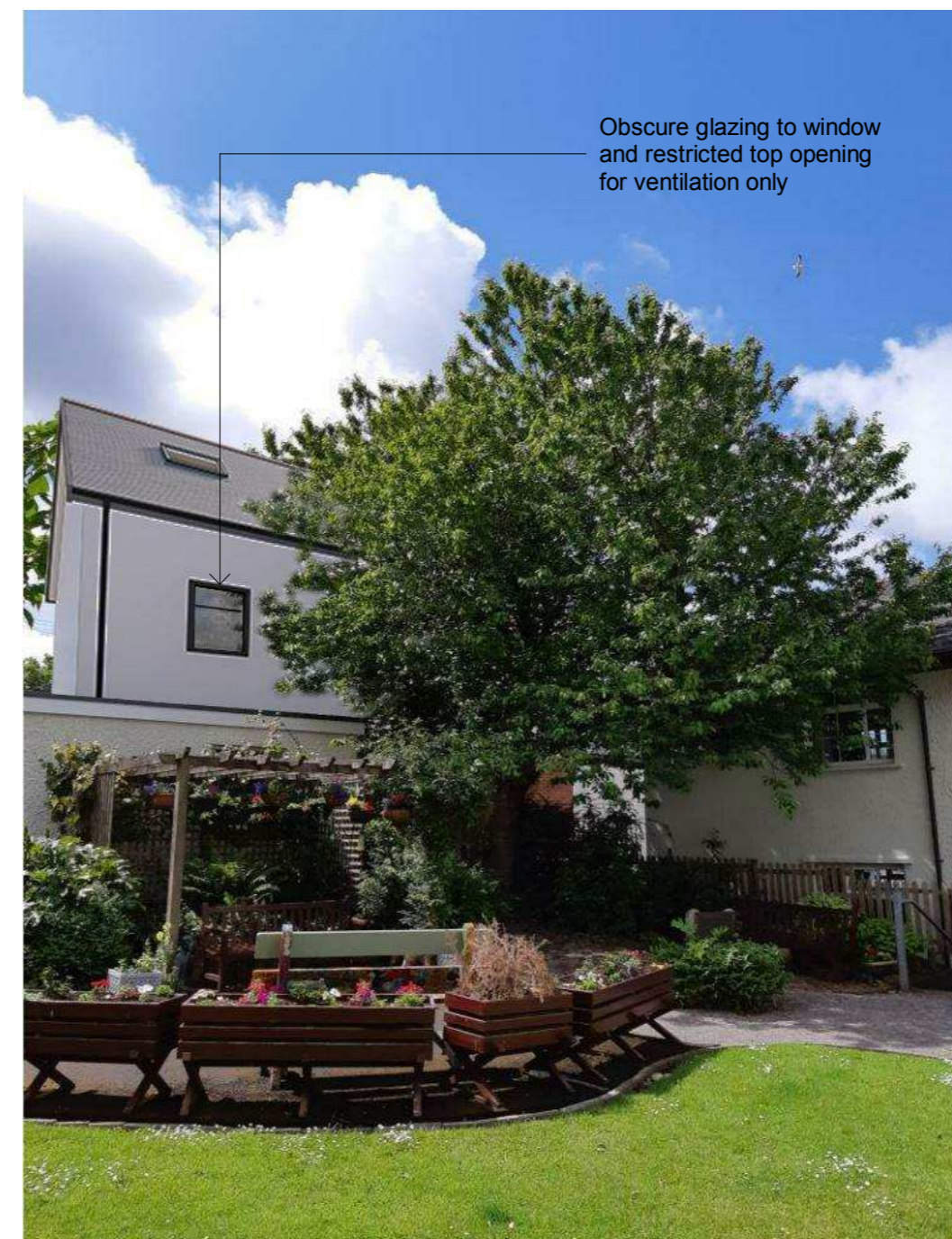
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DO NOT SCALE

The existing mature tree in the garden of Canolfan Beulah Garden was cut down on 13 June 2016 for reasons unknown, presumably under instructions from the owners of Canolfan Beulah Hall.



Proposed view from Garden of Canolfan Beulah Church Community Centre



Obscure glazing to window and restricted top opening for ventilation only

Obscure glazing to window and restricted top opening for ventilation only

Rev.	Amendment	By	Checked	Date
A	First floor single window removed, additional view of full tree added	DB	DD	13/06/19

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Drawing Status: FOR PLANNING PURPOSES ONLY

Cad File Name

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Job:
Redevelopment of former Nat West Bank site
 238 Pantbach Road, Rhiwbina, Cardiff

Drawn	Date	Checked	Date	Approved	Date
DB	15/04/19	DD			

Title Proposed Development - View from Garden of Canolfan Beulah Church Community Centre	Scale NTS	Rev. A
	Job No. -	
	Client Drawing No.	
Drawing No. 2275/PL/09		



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LOCAL MEMBER & MP OBJECTIONS & AM CONCERNS

COMMITTEE DATE: 14/08/2019

APPLICATION No. **19/00017/MNR**

DATE RECEIVED: 04/01/2019

ED: **PLASNEWYDD**

APP: TYPE: Full Planning Permission

APPLICANT: Mr & Mrs McCloskey

LOCATION: 160-166 Strathnairn Street, Roath, Cardiff, CF24 3JQ

PROPOSAL: DEMOLITION OF ALL EXISTING BUILDINGS AND
CONSTRUCTION OF 10 SELF CONTAINED APARTMENTS (7 X
1 BED / 3 X 2 BED) WITH ONSITE AMENITY, CYCLE STORAGE
AND REFUSE STORES

RECOMMENDATION 1: That planning permission be **GRANTED** subject to the following conditions:

- 1 The development permitted shall be begun before the expiration of three years from the date of this planning permission.
Reason: Planning permission is specifically granted based on the assessed current viability of the development.
- 2 The development shall be carried out in accordance with the approved drawings numbered AL(0)05G; AL(0)06D; AL(0)07F; AL(0)08G; AL(0)09F.
Reason: To ensure satisfactory completion of the development and for the avoidance of doubt in line with the aims of Planning Policy Wales to promote an efficient planning system.
- 3 No development excluding demolition shall take place until samples of the external finishing materials have been submitted to and approved by the Local Planning Authority. The development shall be carried out in accordance with the approved details.
Reason: To ensure a satisfactory finished appearance to the building, in accordance with Policy KP5 of the Local Development Plan.
- 4 No development excluding demolition shall commence until a drainage scheme for the site has been submitted to and approved in writing by the Local Planning Authority. The scheme shall provide for the disposal of foul, surface and land water, and include an assessment of the potential to dispose of surface and land water by sustainable means. Thereafter the scheme shall be implemented in accordance with the approved details prior to the occupation of the development and no further foul water, surface water and land drainage shall be allowed to connect directly or indirectly with the public sewerage system.
Reason: To prevent hydraulic overloading of the public sewerage

system, to protect the health and safety of existing residents and ensure no pollution of or detriment to the environment.

- 5 Prior to occupation of the flats hereby approved, refuse storage shall be provided externally and shall thereafter be retained.
Reason: To secure an orderly form of development and to protect the amenities of the area in accordance with Policy W2 of the Local Development Plan.
- 6 Prior to occupation of the flats hereby approved undercover and secure cycle storage shall be provided to accommodate at least 13 cycles in accordance with drawing numbered AL(0)05G and shall thereafter be retained.
Reason: To ensure that secure and undercover cycle parking facilities are provided to encourage other modes of transport over the private car, in accordance with Policy T5 of the Local Development Plan.
- 7 The first and second floor windows in the south and west elevations shall be non-opening below a height of 1.7m above internal floor level and glazed with obscure glass, and thereafter be retained.
Reason: To ensure that the privacy of adjoining occupiers is protected in accordance with Policy KP5 of the Local Development Plan.

RECOMMENDATION 2: R1 – construction site noise.

RECOMMENDATION 3: Bats often roost in houses and other buildings, and work on these buildings may disturb a bat roost. All bats and their roosts are protected against disturbance under UK and European legislation. If bats are found during works, or if any evidence that bats are using the site as a roost is found, work should cease and Natural Resources Wales should be contacted immediately.

Where bats or their roosts are present, no works of site clearance, demolition or construction should take place unless a licence to disturb these species and/or their roosts has been granted in accordance with the relevant legislation.

NRW can be contacted at:-

Natural Resources Wales, Tŷ Cambria, 29 Newport Road, Cardiff CF24 0TP, 0300 065 3000

Bat Conservation Trust can be contacted at:-

5th Floor, Quadrant House, 250 Kennington Lane, London, SE11 5DR, 0845 1300228

RECOMMENDATION 4: The applicant is advised that incoming residents will not be eligible to receive resident parking permits in the adjacent streets.

RECOMMENDATION 5: The bin store doors should open outwards with a clear opening of 1.5m.

1. **DESCRIPTION OF PROPOSED DEVELOPMENT**

- 1.1 This application was deferred by Planning Committee at its meeting on 17th July, in order to undertake a site visit. The visit took place on Monday 5th August, and the application is reported back for determination. Four of the proposed drawings have also been revised to correct several minor technical discrepancies.
- 1.2 The application seeks planning permission to demolish four adjoining two storey terraced dwellings and a two storey coach house, and construct a new building accommodating 10 flats.
- 1.3 The proposed building would measure 15m long by 10m deep along the Strathnairn Street elevation and 19.8m long by up to 9.8m deep along the Cottrell Road elevation. It would have a pitched roof 6.5m high at eaves and 9m at ridge facing Strathnairn Street, the Strathnairn Street elevation would incorporate a gable projecting 1m forward at its east end 6.7m high at eaves and 9.2m at ridge. It would have a pitched roof 5m high at eaves and 8.1m at ridge facing Cottrell Road, the Cottrell Road elevation would incorporate a 2.5m step forward towards its south end and a gable projecting 1m forward at its south end 5m high at eaves and 7.3m at ridge. Two 0.8m tall flat roofed dormer window gables are proposed in the Strathnairn Street elevation. The external walls would be finished in red facing brickwork at upper levels, timber boarding and painted render to the ground floor street facing elevations, the roof would be of slates.
- 1.4 A private communal external area would be provided at the rear, accommodating an external amenity area of 65 square metres, and cycle and refuse stores would be accommodated externally at the west side, accessible by all flats externally. Access to the external area would be provided by external side passages from Strathnairn Street and Cottrell Road, both enclosed by 2.3m high gate enclosures.
- 1.5 Internally the accommodation would comprise of four flats within the ground and first floor levels, and two flats at second floor level. All flats would be accessed via a communal entrance from Strathnairn Street.
- 1.6 The application as originally submitted proposed large square windows facing Strathnairn Street and Cottrell Road which would have provided minimal privacy to residents. The architect has revised the scheme to include narrower windows with a narrower field of view to overcome address the concern raised.

2. **DESCRIPTION OF SITE**

- 2.1 The site comprises four adjoining two storey terraced dwellings on the south side of Strathnairn Street adjacent to the junction with Cottrell Road, and a two storey coach house on the west side of Cottrell Road.

3. **SITE HISTORY**

- 3.1 18/01018/MNR – planning application for demolition of all existing buildings. construction of 9 self-contained apartments over 3 storeys, on site refuse & cycle storage facilities, application withdrawn.

4. **POLICY FRAMEWORK**

4.1 Relevant National Planning Guidance:

Planning Policy Wales (Edition 10, 2018)
Technical Advice Note 12: Design

4.2 Relevant Cardiff Local Development Plan (2006-2026) policies:

Policy KP5 (Good Quality and Sustainable Design)
Policy EN13 (Air, Noise, Light Pollution and Land Contamination)
Policy H3 (Affordable Housing)
Policy T5 (Managing Transport Impacts)
Policy W2 (Provision for Waste Management Facilities in Development)
Policy KP5 (Good Quality and Sustainable Design)

4.3 Relevant Supplementary Planning Guidance

Infill Sites (2011)
Managing Transportation Impacts (Incorporating Parking Standards) 2018.
Waste Collection and Storage Facilities (2016).
Planning Obligations (2017).

5. **INTERNAL CONSULTEE RESPONSES**

- 5.1 Transportation – the submission has been assessed and is considered to be acceptable in principle subject to the standard cycle parking condition for a minimum of one cycle space per bedroom across the development. The adopted ‘Managing Transportation Impacts (Incorporating Parking Standards)’ Supplementary Planning Guidance allows for a maximum of one car parking space per dwelling (there is no minimum) for residential development in the central area, as such zero on-site provision as applied for is considered to be policy compliant. In considering any possible car parking requirement or moving traffic impact it must be borne in mind that the existing dwellings, to be demolished to accommodate the proposed development, provides a total of 15 bedrooms over four terraced houses (two and three story). In contrast the proposed ten flats are made up of smaller one and two bed units in a stand-alone three storey building, amounting to a total of 13 beds, two less than the currently existing number. It is also noted that there is a detached two storey ‘coach house’ garage associated with no. 66 Cottrell Road which is capable of being converted into an additional dwelling, potentially adding to the quantum of existing development. The site is also adjacent to a vibrant district centre with easy direct access to a range of shops, services, employment, entertainment, etc. opportunities that such a location affords. The site also

has very good access to high frequency bus public transport services, located within 120m on Albany Road, and Cardiff's cycle network. The site is therefore considered to be in an extremely sustainable location in transport terms, reducing the reliance on private car ownership and use of the same for everyday trips. Given the Policy compliant nature of the proposals and sustainable location of the site I would conclude that any objection on parking or traffic grounds would be unsustainable, and any reason for refusal on these basis would not withstand challenge. I therefore have no objection to the application subject to the requested cycle parking conditions and noted recommendations.

- 5.2 Parks Services – Having reviewed the proposals the net increase in accommodation being provided is less than 9 units and therefore this fails below the threshold for an off-site public open space contribution.
- 5.3 Neighbourhood Renewal (Affordable Housing) – In line with the Local Development Plan (LDP), an affordable housing contribution of 20% of the 10 units (2 units) is sought on this brown-field site. Our priority is to deliver on-site affordable housing, in the form of affordable rented accommodation, built to Welsh Government Development Quality Requirements. However, given the proposed design of the scheme, we would be prepared to accept a financial contribution in lieu of on-site affordable housing provision. On that basis of the above, we would seek a financial contribution of £138,852 in lieu of 2 x 1 bedroom apartments) which is calculated in accordance with the formula in the Planning Obligations– Supplementary Planning Guidance (SPG)(2017).
- 5.4 Waste Management – The bin storage area indicated within the current site plan is acceptable, however a designated area for the storage of bulky waste is now a compulsory element of all communal bin stores. There must be a designated area where bulky items such as mattresses can be left, with appropriate access to allow Council collection crews to remove. This separate area will prevent unwanted bulky waste being left in the communal bin store and therefore impede the collection of the weekly/fortnightly collection of bins. Please submit new plans showing the bulky waste storage area. Until this information is received Waste Management would oppose this development. Please ensure the refuse storage area is large enough to accommodate the following recommended provisions for 10 apartments: Dry Recyclables: 1 x 1100 litre bulk bins; General waste: 1 x 1100 litre bulk bins; Food Waste: 1 x 240 litre bin. The developer is advised; as bulk containers are specified for this development, access paths to the kerbside for collection should be at least 1.5 metres wide, clear of obstruction, of a smooth surface with no steps. Dropped kerbs should also be provided to ensure safe handling of bulk bins to the collection vehicle. Bulk containers must be provided by the developer/other appropriate agent, to the Councils' specification (steel containers are required where capacity exceeds 240 litres) as determined by S46 of the Environment Protection Act 1990 and can be purchased directly from the Council. Please contact the Waste Management's commercial department for further information on 02920 717504. Refuse storage, once implemented, must be retained for future use. Further to submission of a

revised plan showing an area for bulky waste, Waste Management have confirmed that the bulky waste area is acceptable. The bin store doors should have double doors that open outwards, with a clear opening of 1.5m. The side entrance and path also needs to be wide enough for the bins to be able to manoeuvred to the kerb with ease.

- 5.5 Ecology – In the light of my comments on the previous application and the fact that these buildings are a borderline case with respect to the criteria set out in our SPG, a reasonable approach would be to attach an advisory note to any consent, which warns the applicant of the potential for the presence of bats, and of what to do if bats are found during works. The applicant may take the view that, in order to protect themselves against a potential prosecution resulting from destruction of a bat roost, if one were present, then it would be prudent to seek professional advice and commission a preliminary bat survey.

6. **EXTERNAL CONSULTEE RESPONSES**

- 6.1 Welsh Water – We have reviewed the information submitted as part of this application and note that the intention is to drain both foul and surface water to the mains sewer for which we can only comment on the acceptability of the foul water proposal at this stage. In the absence of a surface water strategy in which an assessment is undertaken to explore the potential to dispose of surface water by sustainable means, we cannot support the application in full. Secondly a review of the public sewer record indicates that the proposed site is crossed by a public sewer. Under the Water Industry Act 1991 Dwr Cymru Welsh Water has rights of access to its apparatus at all times. No development (including the raising or lowering of ground levels) will be permitted within 3 metres either side of the centreline of the public sewer. Finally, no new connection shall be made to the 975x600mm in either Strathnairn Street or Cottrell Road. Therefore, request a condition that no development shall commence until a drainage scheme for the site has been submitted to and approved in writing by the Local Planning Authority.
- 6.2 South Wales Police – Analysis has shown that overall crime in the vicinity adjacent to the proposed development is as follows: Strathnairn Street is located within the local authority Ward of Plasnewydd. During a period between January 2018 and January 2019, there were 4926 incidents reported to South Wales Police within the Plasnewydd Ward. This is very high when compared to other areas of Cardiff. Over that same period there were 106 incidents reported to South Wales Police in the near vicinity of the proposed development. These include 15 violent incidents, 9 thefts, 9 incidents of anti-social behaviour, 4 burglaries and 4 damages. In order to address concerns regarding community safety and crime prevention, South Wales Police would recommend Secure by Design principles are adopted by developers in terms of design and layout.

7. **REPRESENTATIONS**

- 7.1 The application was publicised by letter and site notices. A petition of objection was received, signed by 50 residents with addresses in Cardiff, all of

which are from addresses within the vicinity who could reasonably be affected by the matter. Full details are viewable online. However, the petition refers to previous planning application number 18/01018/MNR and the signatures are dated prior to the date the current application was submitted, therefore the petition is not valid for the current application.

7.2 Objections have been received from the following addresses:

- nos. 57, 66, 76, 79, 82, 84, 95, 98, 103, 105, 111, 114, 124, 127, 130, 142, 148, 150, 152, 158 Strathnairn Street.
- 118, 134, 138, 140, 142 Cottrell Road.
- 56, 77, 101, 104, 105, 106, 119, 120, 135, 149, 159, 161 Glenroy Street.
- 27 Connaught Road.
- 19 Daviot Street.
- 19 Iron Street.
- 9 Forest Oak Close.
- 3 Penally Road.

Full details are viewable online, their comments are summarised as follows:

- a) *Overdevelopment/higher scale than surrounding streets, the development has increased since the previous proposal;*
- b) *Effect on the character of the area;*
- c) *Inadequate parking and traffic impact;*
- d) *Loss of privacy/overlooking of adjoining properties;*
- e) *Loss of light to adjoining properties;*
- f) *Lack of amenity space, reduced since previous proposal;*
- g) *Loss of historic buildings;*
- h) *Loss of family accommodation;*
- i) *Faster turnover of tenants;*
- j) *Noise/air pollution during construction;*
- k) *Noise/smell to adjoining property as a result of bin storage adjacent to adjoining garden;*
- l) *Structural damage and loss of insulation to adjoining property following demolition;*
- m) *Security of adjoining properties following demolition;*
- n) *Risk to pedestrians including school children who walk past the site during demolition/construction;*
- o) *Impact on wildlife/bats;*
- p) *Precedent for similar developments within the area;*
- q) *Devaluation of properties and effect on insurance premiums;*
- r) *Impact upon health and wellbeing;*
- s) *Potential asbestos from demolition;*
- t) *Inadequate notification/publicity of the re-submitted application.*

7.3 Objections were also received in response to the publication of previous application (18/01018/MNR), for full transparency it is noted that objections to the previous application were received from the following additional addresses:

- nos. 77, 83, 93, 97, 113, 117, 119, 125, 152 Strathnairn Street.
- 150, 156 Cottrell Road.
- 151 Glenroy Street.
- 52 & 99 Keppoch Street
- 57 Arabella Street.
- 6 Africa Gardens.

7.4 Cllrs Peter Wong, Daniel De'Ath, and Mary McGarry object to the application, as follows:

We note that the applicant has submitted even more amended plans, published by Cardiff Council on 04/01/19. But wait! As they withdrew the previous application (18/01018/MNR), the Planning Team has now allocated them a new planning application number, despite there being very little substantive difference between these latest plans and the two previous iterations in regard to the main causes of concern in the objections. I note too in the PAC report, that in response to objections to the latest plans, it states “the Applicant considers no revision to the scheme were considered necessary” (para1.10) Well that gives you everything you need to know about the applicant’s respect for neighbours and the community. So further to our previous objections on 7th September and 10th June 2018 to this proposed development, under the previous application number 18/01018/MNR, we are writing again as local councillors to object on behalf of a large number of Plasnewydd constituents living in the surrounding area. Much like the previously amended plans, these newly amended plans do not address any of the key objections we had to the original plans. This latest proposal has even increased the number of flats from 9 to 10. Really? Does the applicant really think that what we as councillors, and all the residents who sent in objections were really clamouring for was a revised development with more flats squeezed onto the land’s footprint. You can see quite clearly when you compare the latest site plan (AL(90)10 PROPOSED SITE PLAN REV D74332420000.PDF) with the previous version, the footprint of the development has got bigger! There is now no room along the side of the building for the refuse store/cycle spaces, and along the other side the space has been reduced to a tiny alleyway by the increased size of the building. This also means that the refuse store/cycle spaces has moved to where the amenity space was previously, cutting the previously planned amenity space in half, and removing all grass. The proposed development is still to demolish four perfectly good Victorian buildings and replace them with a three storey building that towers over the neighbouring properties, constituting an overdevelopment in the area and changing the character of the area. The lack of any on site car parking will have an even greater impact on local parking than the previous plans.

Overdevelopment and change of character to the area

A three storey development containing 10 flats, on such a small site in a built up area, where all other properties in the immediate area are on average only two story buildings is a considerable overdevelopment, and will be a detrimental change to the character of the area. LDP H5.22 states that

developments should have “a lower visual impact on the street scene by preserving the existing frontage and respecting the character of an area.” Strathnairn Street is a street of distinctive well used Victorian residential houses, and the proposal to remove 4 perfectly good houses currently in use to be replaced by 9 dwelling units in an already overcrowded residential area means that this requirement is not met. Additionally as per KP5 of the LDP, none of the proposed development’s scale, form, massing, height, density, colour, materials, detailing could be described as in keeping with the distinctive Victorian residential houses in the area, and certainly not in keeping with the local character and context of the built and landscape setting. The proposed development bears no resemblance to the distinctive local Victorian architecture, heritage or fabric of the area.

Impact on Neighbours

It can be clearly seen from the submitted plans that the roofline of the proposed development is higher than the height of the roofline of the entire residential houses in the surrounding area. The height of the proposed property will greatly overshadow the rooms and gardens of the neighbouring houses, blocking out natural light. This will also impact on neighbouring properties’ privacy: the proposed flats on the higher levels will have a clear view into neighbour’s gardens and rooms. The over development of Strathnairn Street and reducing family housing stock will have a significant detrimental effect on the local community, in contravention of LDP H5: i. The cumulative impact of such conversions will not adversely affect the amenity and/or the character of the area. And KP5 of the LDP: x. Ensuring no undue effect on the amenity of neighbouring occupiers and connecting positively to surrounding communities;

Lack of Amenity Space

The amenity space offered in the plans is even more non-existent compared to the last iteration of the proposed development, and clearly deficient for a development of 10 flats; in fact the amenity space has been cut in half (compared to the previous plans) to accommodate the refuse store/cycle spaces, as they can no longer fit into the side of the building due to the increase proposed size. The lack of grass shows that all pretence at amenity space has been removed.

Local Parking

The lack of any on site parking for a development of this size will mean this is still a significant additional burden on local parking in the surrounding streets. There is already pressure on parking from customers of the shops on Albany Road/Wellfield Road, and a large Primary School on the same street, making it difficult for residents to park, and a development with the potential for many additional cars would exacerbate the situation, with a knock on effect on all the neighbouring streets. This would create great inconvenience for the existing residents in the area in contravention of KP5 of the LDP: x. Ensuring no undue effect on the amenity of neighbouring occupiers and connecting

positively to surrounding communities.

7.5 Jo Stevens MP objects to the application, as follows:

I note these are new plans submitted on 04/01/2019, following the withdrawal of the previous planning application (18/01018/MNR) after significant local opposition. There is very little difference between these latest plans and the two previous attempts when considering the main causes for concern from local residents.

A large number of my constituents who live near to the proposed development have contacted me again to express their objection to the plans, and frustration with the process. So further to my previous objections to this proposed development under application number 18/01018/MNR, I am writing again to object to the proposed development.

Much like the previously amended plans, these newly amended plans do not address any of the key objections we had to the original plans. This latest proposal actually causes further concern as the number of proposed properties has increased from 9 to 10.

I also note from the new plans that the footprint of the development is enlarged, meaning there is now no room along the side of the building for refuse/cycle spaces, and along the other side the space has been reduced to a small alleyway due to the increased size of the building. This also means that the refuse/cycle spaces have moved to where the amenity space was previously, cutting the previously planned amenity space in half, and removing the grass.

The proposed development is still to demolish four perfectly good Victorian buildings and replace them with a three storey building that towers over the neighbouring properties, constituting an overdevelopment in the area and changing the character of the area to its detriment. I have real concerns about the precedent that approving a proposal of this nature would set for the city.

A three storey development containing 10 flats on such a small site in a built up area, where all other properties in the immediate area are on average only two storey buildings is considerable overdevelopment, and will be a detrimental change to the character of the area. Strathnairn Street is a street of distinctive well used Victorian residential houses and the proposal to remove 4 perfectly useful houses currently in use, to be replaced by 10 dwelling units is excessive. Additionally as stated in KP5 of the LDP, none of the proposed development's scale, form, massing, height, density, colour, materials, detailing could be described as 'in keeping' with the area, and certainly not in keeping with the local character and context of the built and landscape setting. The proposed development bears no resemblance to the distinctive local Victorian architecture of the surrounding local area.

It is obvious from the submitted plans that the roofline of the proposed development is higher than the height of the roofline of the residential houses

in the surrounding area. The height of the proposed development will overshadow the rooms and gardens of neighbouring houses – blocking out natural light and impacting on neighbouring properties' privacy. The proposed flats on the higher levels will have a clear view into neighbour's gardens.

The lack of an onsite parking for a development of this size will mean this is still a significant additional burden on local parking in the surrounding streets. There is already pressure on parking from customers of the shops on Albany Road/Wellfield Road, and a large primary School on the same street, making it difficult for residents to park, and a development with the potential for many additional cars would exacerbate the situation, with a knock on effect on all the neighbouring streets. This would cause great inconvenience for the existing residents in the area in contravention of KP5 of the LDP: x. Ensuring no undue effect on the amenity of neighbouring occupiers and connecting positively to surrounding communities.

7.6 David Melding AM has commented on the application, summarised as follows:

I've been contacted by local residents regarding planning application 19/00017/MNR. They have highlighted to me a number of concerns about the proposal which include overlooking, parking and the design of the new building. Looking at the plans the design appears to be different to the existing local vernacular. In fact the application appears to have a very similar design to withdrawn application 18/01018/MNR. Therefore could I respectfully ask that the application is heard by the full planning committee (rather than decided under delegated powers) and that the committee undertake a site visit before reaching a decision to see if granting this application would set a local precedent.

8. **ANALYSIS**

8.1 Policy

National Planning policy encourages the provision of additional housing stock within previously developed or existing residential land. Paragraph 4.2.17 of Planning Policy Wales states that '*Maximising the use of suitable previously developed and/or underutilised land for housing development can assist regeneration and at the same time relieve pressure for development on greenfield sites.*' Policy KP5 of the Local Development Plan is applicable to all new development and the Infill Sites SPG provides advice and summary with regard to infill development. Explanation of how the proposed development accords with policy and guidance is provided below.

8.2 Design

Policy KP5 of the Local Development Plan states that '*all new development will be required to be of a high quality, sustainable design and make a positive contribution to the creation of distinctive communities, places and spaces by: responding to the local character and context of the built and landscape setting so that the layout, scale, form, massing, height, density, colour,*

materials, detailing and impact upon the built and natural heritage are all addressed within development proposals. With regard to site redevelopment the Council's Infill Sites SPG paragraph 2.13 advises that *'It is important to strike a balance between maintaining the established positive character of a residential street and introduce additional housing. To avoid a town cramming effect, any proposals must: Maintain a useable amenity space or garden for new as well as any existing dwellings/occupiers; maintain an established spacing between buildings that respects the pattern of layout in the vicinity of the site; maintain appropriate scale and massing which respects buildings in the vicinity of the site; respect the frontage building line and respond to the existing street scene'*. Paragraph 3.12 advises that *'Infill development needs to be sensitive to its immediate surroundings and respond well to the built context'*.

It is considered that the proposed building would respond to the local character and context of the built setting by virtue of its scale, massing and height. Although the proposed building would be taller (1m) at eaves and ridge heights than the existing buildings facing Strathnairn Street, it is not considered that the proposed height would cause harm to the street scene having regard that it would be detached from the existing terrace by 1.2m and accordingly present itself as a 'bookend' feature to the terrace due to its setting at the end of the terrace. A limited height increase at corner locations is supported in this manner. The proposed building facing Cottrell Road would be appropriately sub-ordinate to the main elevation facing Strathnairn Street, respecting the street scene of Cottrell Road by virtue of the lower height towards the south end of this elevation which would be no higher than the eaves of the rear annexe of the existing corner building. The proposed scale is therefore considered acceptable in relation to the existing buildings.

The proposed front facing dormer window gables to Strathnairn Street are considered appropriate having regard that they would be of minimal height in relation to the roof slope. The proposed materials are considered appropriate having regard that a mixture of stone, render and brick materials are used within the locality. Accordingly, it is considered that the proposal is compliant with Policy KP5 and the Infill Sites SPG.

8.3 Residential Amenity

The proposed building would be set back from the boundary with no. 158 Strathnairn Street by a similar distance (1.2m) as the existing two storey rear annexe of no. 160 and would project by 1.3m less to the south than the existing two storey annexe. The main element would be set back from the boundary with nos. 153, 155, 157, 159, 161 & 163 Glenroy Street by 10m and the gable end of the element along Cottrell Road would be set away from the southern boundary by a greater distance (1.4m) than the existing two storey coach house which directly adjoins that boundary. In addition it is noted that there is an existing single storey garage adjacent to half of the southern boundary and the proposed building would be orientated to the north and therefore should not result in any unacceptable overshadowing to the adjoining gardens. The building would be positioned at least 13.5m from the

front elevations of existing dwellings on the opposite sides of Strathnairn Street and Cottrell Road similar to the existing front window to window separation distances across the streets, and would not result in unreasonable loss of light in accordance with standard daylighting/overshadowing analysis techniques demonstrated by drawings provided.

It is noted that the first and second floor south facing windows of the rear elevation would be sited approximately 10m from the boundaries with nos. 153, 155, 157 Glenroy Street and the first and second floor west facing windows of the rear elevation would be sited approximately 9m from the boundary with no. 158 Strathnairn Street. As these distances would be less than the minimum of 10.5m upper level window to boundary specified by the Infill Sites SPG condition 7 is considered necessary to ensure these windows are obscure glazed and non-opening below an internal height of 1.7m.

8.4 Internal/External Space

The internal floor area of all flats satisfies the minimum requirements with the smallest flats having an internal floor area of 45 square metres, and the outlook from all living areas is considered adequate. An adequate external amenity area of approximately 65 square metres would be provided to the rear, accessible by all flats.

8.5 Waste Management

Refuse storage can be satisfactorily accommodated within the external area to the rear without compromising the use/area of the amenity space, and the side entrance/path are of sufficient width for the bins to manoeuvred to the kerb. Condition 5 is considered necessary to ensure the storage area for containers is provided prior to beneficial occupation.

8.6 Transportation

The Managing Transportation Impacts (Incorporating Parking Standards) SPG identifies no requirement for off street parking, and provision of cycle parking at a minimum ratio of 1 space per bedroom. The proposal is therefore considered to be car parking policy compliant with no off street parking spaces. The site is also in a sustainable location near to bus routes. Details of satisfactory secure and sheltered cycle storage have been submitted indicating provision of independently accessible undercover cycle storage. Condition 6 is considered necessary to ensure the cycle storage is provided prior to beneficial occupation and thereafter retained.

8.7 Other Considerations

Further to the request from Housing Strategy for a financial contribution of £138,852 in lieu of on-site affordable housing provision, the applicant has undertaken a viability assessment which indicates that the contribution would make the scheme unviable. The District Valuation Service has carried out an independent review of the assessment using current costs and values, which

has concluded that the scheme is unviable after the provision of the contribution requested. Housing Strategy have been advised of this and accept the findings of the DVS. In light of the above and having regard that the contribution could become viable in the future, a non-standard commencement condition has been imposed requiring development to commence within three years instead of five. It is for the Local Planning Authority to consider whether the failure to provide appropriate mitigations in the form of planning obligations is, in itself, grounds for refusal of planning consent. In this instance, the proposal is considered to be acceptable in planning terms for the reasons discussed above.

8.8 Representations

The representations received from the neighbouring residents, Cllrs Peter Wong, Daniel De'Ath and Mary McGarry, Jo Stevens MP and David Melding AM are noted. Specific issues are addressed as follows:

- a) Overdevelopment/higher scale than surrounding streets. The proposal is considered acceptable in accordance with Policy KP5 of the Local Development Plan and the Council's Infill Sites SPG as detailed within the design analysis.
- b) Effect on the character of the area. The proposal is considered acceptable in accordance with Policy KP5 of the Local Development Plan and the Council's Infill Sites SPG as detailed within the design analysis.
- c) Inadequate parking and traffic impacts. The proposal is compliant with the Council's adopted Managing Transportation Impacts (Incorporating Parking Standards) SPG with no off street parking provision as detailed within the above analysis and confirmed by Transportation.
- d) Loss of privacy/overlooking of adjoining properties. It is not considered that the proposal would result in any unreasonable loss of privacy or overlooking to adjoining properties as detailed within the amenity analysis, subject to condition 7.
- e) Loss of light to adjoining properties. It is not considered that the proposal would result in any unreasonable overshadowing to adjoining properties as detailed within the amenity analysis.
- f) Lack of amenity space. It is considered that the proposed external amenity area of adequate size and useable form as detailed within the above analysis.
- g) Loss of historic buildings. The existing buildings are not afforded any protection in planning terms as they are not listed or located within a conservation area.
- h) Loss of family accommodation. There is no planning policy to protect family accommodation and no policy or specific supplementary planning guidance in terms of thresholds/saturation which the Council could rely on to support a refusal.
- i) Faster turnover of tenants. Not a material planning matter, there is no planning control upon the length of a tenancy.
- j) Noise/air pollution during demolition/construction. Construction noise and dust can be controlled under the Control of Pollution Act 1990.
- k) Noise/smell to adjoining property as a result of bin storage adjacent to side

wall. The location of the bin store is considered acceptable as detailed above.

- l) Structural damage and loss of insulation to adjoining property following demolition. The creation of a gap between the proposed building and adjoining dwelling is considered appropriate in planning terms, any matter with regard to the party wall would be a private civil matter between the property owners concerned as set out by the party wall legislation.
- m) Security of adjoining properties following demolition. The responsibility to enclose the site by fencing/hoardings following demolition would rest with the developer, and replacement boundary enclosures are proposed where applicable.
- n) Risk to pedestrians including school children who walk past the site during demolition/construction. The responsibility to enclose the site by fencing/hoardings following demolition would rest with the developer as required by Highways. The parking of vehicles, skips and equipment on the footway/highway during development is not a matter which can be controlled under planning legislation, and would be subject to any necessary permits by the Council's Highways division.
- o) Impact on wildlife/bats. It is not considered that the proposal would result in adverse impact upon wildlife/bats, the Council's ecologist has advised that the site is more than 400m from any suitable feeding grounds for bats, such as parks, woodland or open water therefore it is unlikely that bats would roost in these properties.
- p) Precedent for similar developments within the area. All planning applications are considered on their own merit.
- q) Devaluation of properties and effect on insurance premiums. Not a material planning matter.
- r) Impact upon health and wellbeing. It is not considered that the proposal would cause 'demonstrable' harm to health and wellbeing. Construction noise and dust would be controlled under the Control of Pollution Act 1990.
- s) Potential asbestos from demolition. Not a material planning matter, removal of asbestos would be controlled by the Health & Safety Executive.
- t) Inadequate notification/publicity of the application. Addresses adjoining and opposite the application site were notified by letter on 15/01/19 and site notices were displayed at Strathnairn Street and Cottrell Road on the same day having regard to the representations received in response to the previous application. The applicant's agent also carried out a pre-application consultation with 20 neighbouring addresses and local Councillors between 20th November and 18th December 2018. Paragraph 12 (5) of the Town and Country Planning (Development Management Procedure) (Wales) Order 2012 is applicable to a non-major development of this category which states that: the application must be publicised by giving requisite notice— (a) by site display in at least one place on or near the land to which the application relates for not less than 21 days; or (b) by serving the notice on any adjoining owner or occupier. There is no requirement for the Council to notify those who submitted comments on a previous application of a subsequent application if they are not given requisite notice as an adjoining owner or occupier. The Council has therefore complied with the legal obligation to publicise the application by

sending letters to adjoining addresses and by displaying site notices, and in this case has exceeded the minimum statutory requirement by undertaking more than one of the publication methods.

8.9 Other Legal Considerations

Crime and Disorder Act 1998 – Section 17(1) of the Crime and Disorder Act 1998 imposes a duty on the Local Authority to exercise its various functions with due regard to the likely effect of the exercise of those functions on, and the need to do all that it reasonably can to prevent, crime and disorder in its area. This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable increase in crime and disorder as a result of the proposed decision.

Equality Act 2010 – The Equality Act 2010 identifies a number of ‘protected characteristics’, namely age; disability; gender reassignment; pregnancy and maternity; race; religion or belief; sex; sexual orientation; marriage and civil partnership. The Council’s duty under the above Act has been given due consideration in the determination of this application. It is considered that the proposed development does not have any significant implications for, or effect on, persons who share a protected characteristic.

Well-Being of Future Generations Act 2016 – Section 3 of this Act imposes a duty on public bodies to carry out sustainable development in accordance with the sustainable development principle to act in a manner which seeks to ensure that the needs of the present are met without compromising the ability of future generations to meet their own needs (Section 5). This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable impact upon the achievement of wellbeing objectives as a result of the recommended decision.

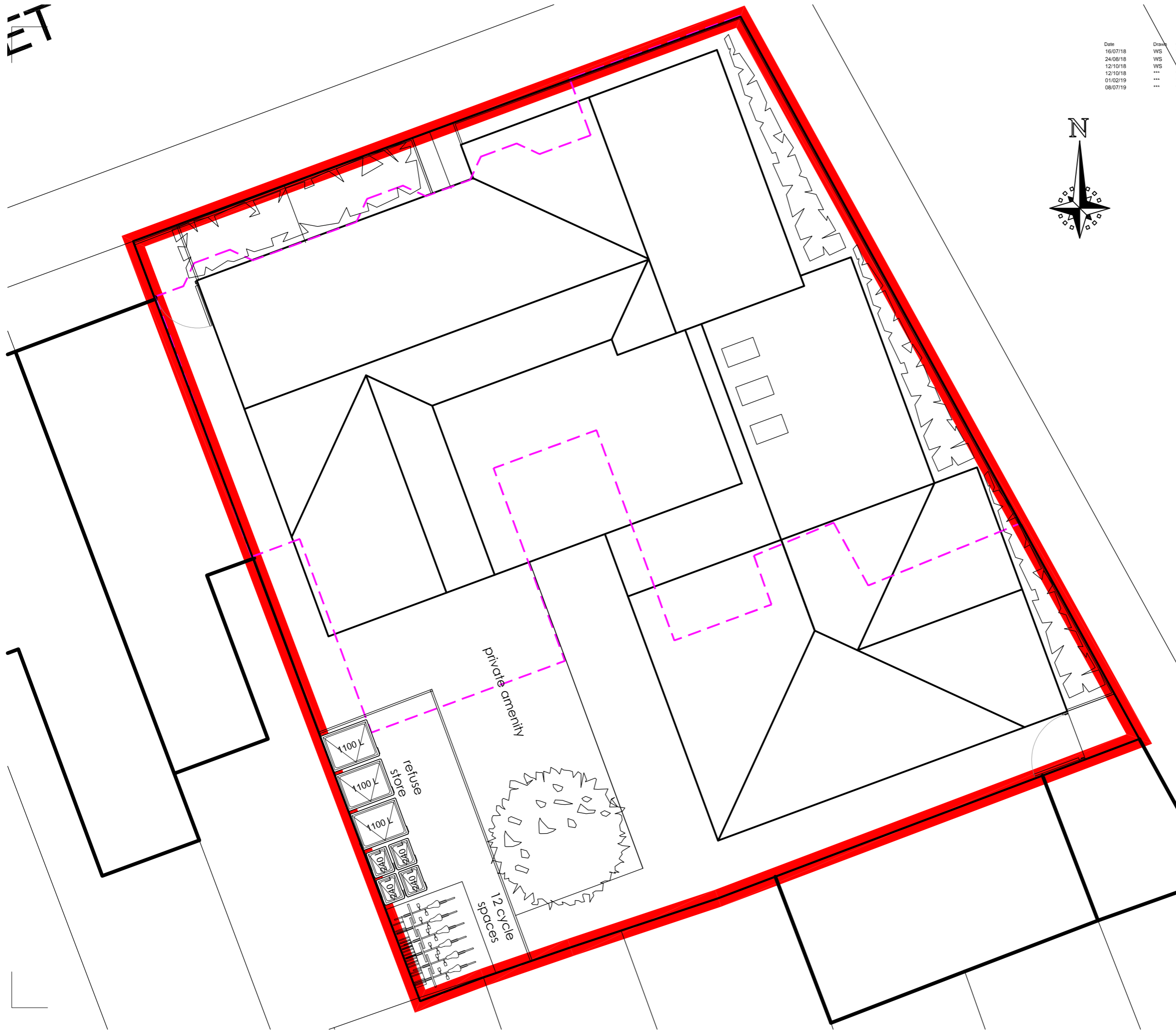
8.10 Conclusion

It is concluded that the application is acceptable in accordance with the planning policies listed, and is recommended that planning permission be granted, subject to conditions.

ET

Date	Drawn	Check	Description
16/07/18	WS	***	Parking changed to amenity space.
24/08/18	WS	***	Roof plan amended
12/10/18	WS	***	Roof plan amended
12/10/18	***	***	Plans updated following planning comments
01/02/19	***	***	Plans updated following planning comments
08/07/19	***	***	Plans updated following planning comments

Rev.
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F



--- Footprint of Original Buildings

Proposed redevelopment 160-166 Strathnairn Street Roath, Cardiff		Job No. 17_082	Rev. F
Title Proposed Site Plan		Dwg No. AL(90)10	
Date	Drawn IWJ	Scale 1:100	

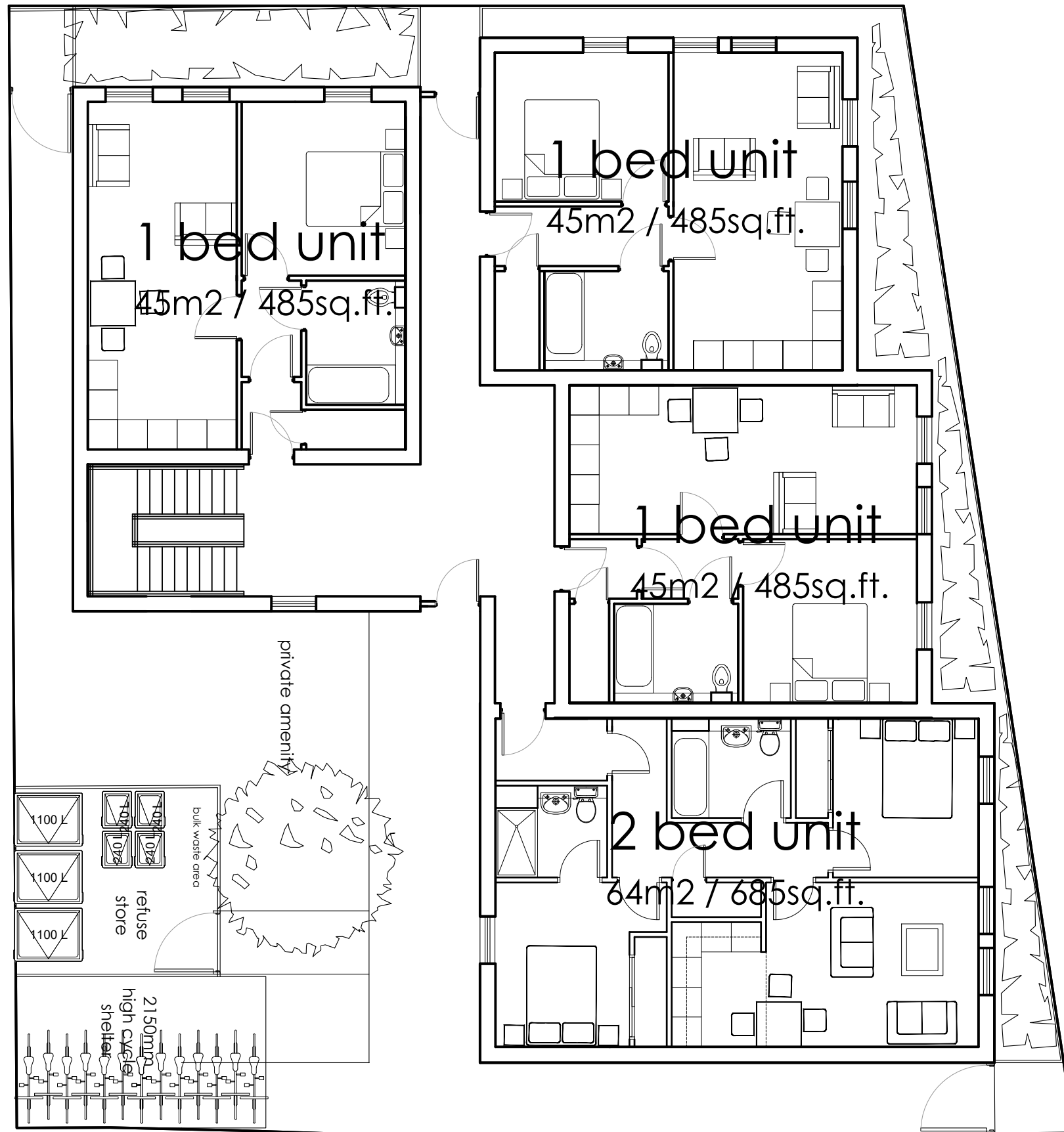


Unit: 1A, Compass Business Park,
Pacific Road, Cardiff, CF24 5HL


www.cjarchitects.co.uk
tel: 029 20452100

Date	Drawn	Check	Description
16/07/18	WS	***	Parking changed to amenity space.
19/09/18	WS	***	Plans updated following planning comments
12/10/18	WS	***	Plans updated following planning comments
01/02/19	WS	***	Plans updated following planning comments
01/02/19	WS	***	Plans updated following planning comments
08/07/19	WS	***	Plans updated following planning comments
18/07/19	WS	***	Plans updated following planning comments

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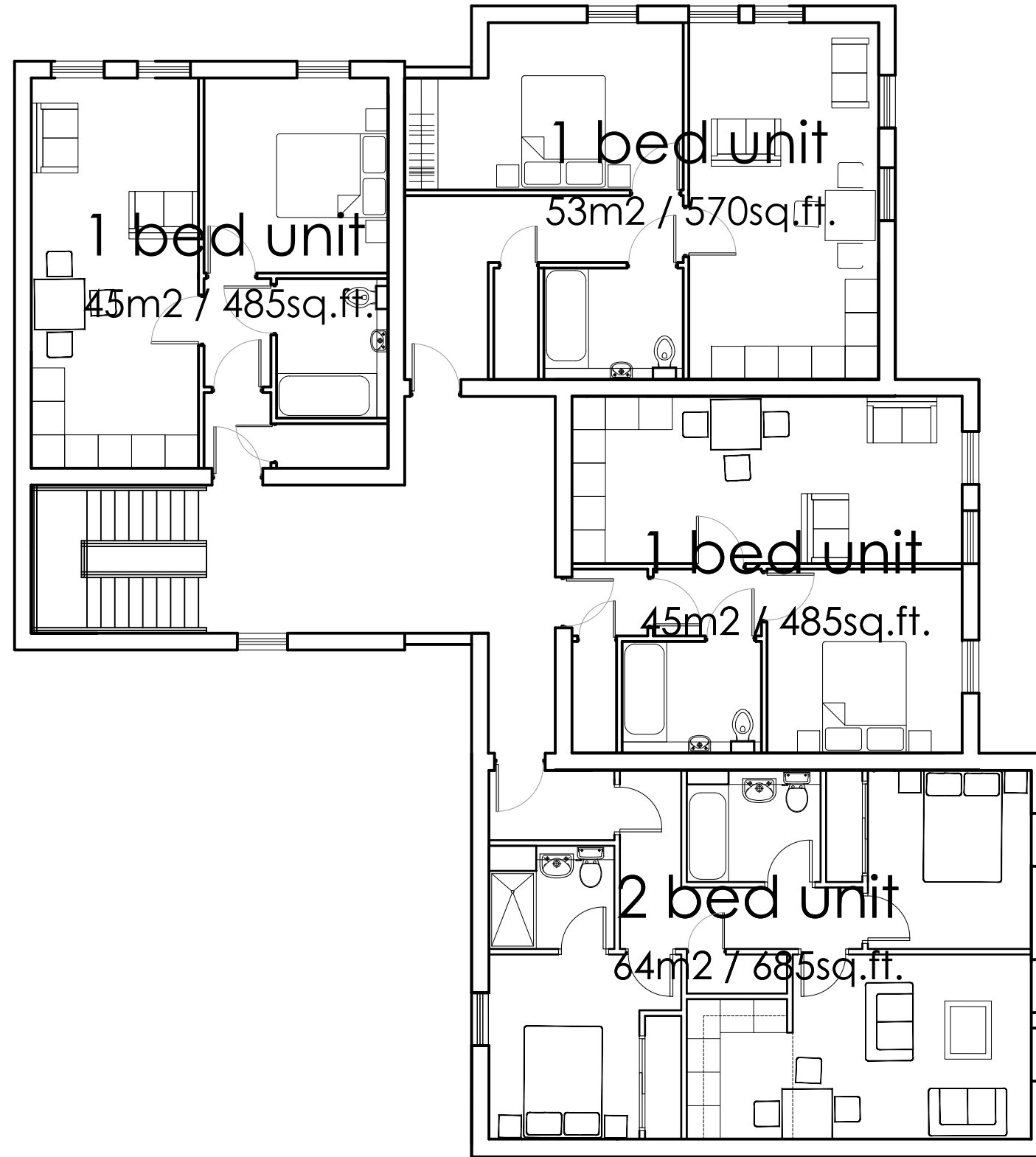


Ground Floor

Proposed redevelopment 160-166 Strathnairn Street Roath, Cardiff		Job No. 17_082
		Dwg No. Rev. AL(0)05 G
Title Proposed Ground Floor Plan		
Date	Drawn IWJ	Scale 1:100
 CJ Architects · Town planners Environmental & Urban design		www.cjarchitects.co.uk tel: 029 20452100
<small>Unit 1A, Compass Business Park, Pacific Road, Cardiff, CF24 6HL</small>		

Date	Drawn	Check	Description
19/09/18	***	***	Plans updated following planning comments
12/10/18	***	***	Plans updated following planning comments
01/02/19	***	***	Plans updated following planning comments
18/07/19	***	***	Plans updated following planning comments

Rev.
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First Floor

Proposed redevelopment		Job No.	17_082
160-166 Strathnairn Street		Dwg No.	
Roath, Cardiff		Rev.	D
Title		Proposed First Floor Plan	
Date	Drawn	Scale	
	IWJ	1:100	

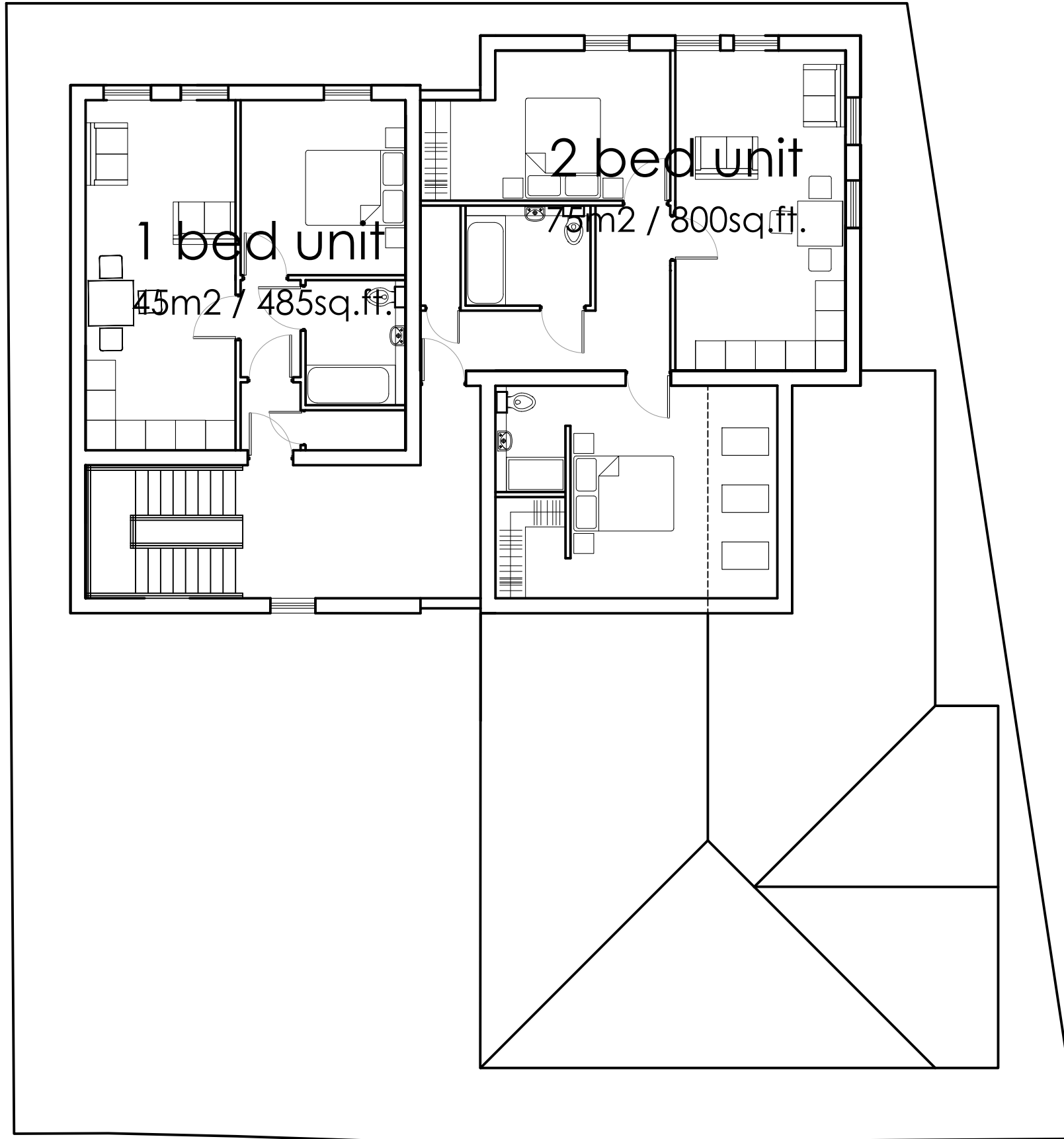


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tel: 029 20452100

Date	Drawn	Check	Description
24/08/18	***	***	Roof levels droppees, dormers introduced
19/09/18	***	***	Plans updated following planning comments
12/10/18	***	***	Plans updated following planning comments
01/02/19	***	***	Plans updated following planning comments
01/02/19	***	***	Plans updated following planning comments
18/07/19	***	***	Plans updated following planning comments

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Second Floor

Proposed redevelopment		Job No.	17_082
160-166 Strathnairn Street		Dwg No.	AL(0)07
Roath, Cardiff		Rev.	F
Title			
Proposed Second Floor Plan			
Date	Drawn	Scale	
	IWJ	1:100	

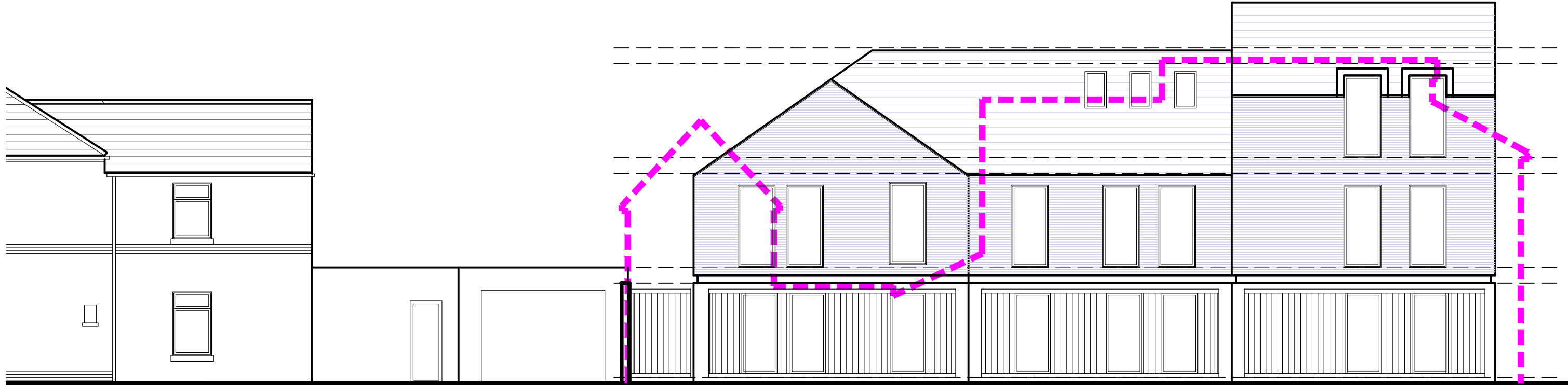
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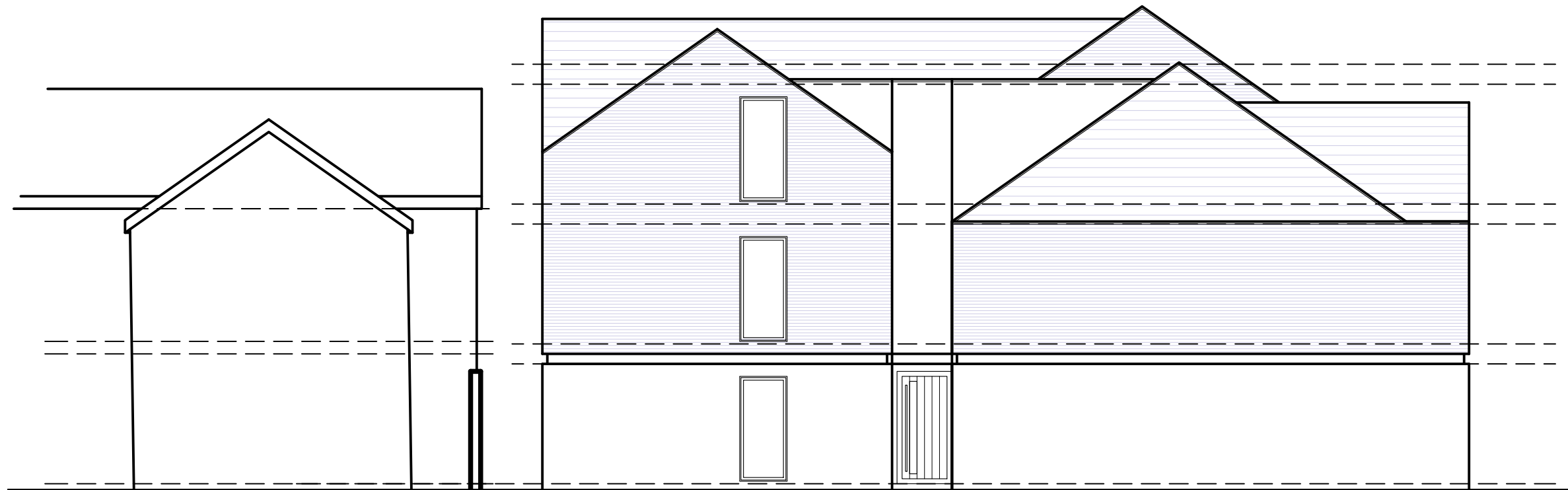
www.cjarchitects.co.uk
tel: 029 20452100

Date	Drawn	Check	Description
06/07/18	***	***	Context added to elevations
14/08/18	***	***	Building reduced in height
24/08/18	***	***	Building reduced in height
19/09/18	***	***	Plans updated following planning comments
12/10/18	***	***	Plans updated following planning comments
01/02/19	***	***	Plans updated following planning comments
18/07/19	***	***	Plans updated following planning comments

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Cottrell Road Elevation



Rear of Strathnairn Street Elevation

Profile of Original Building

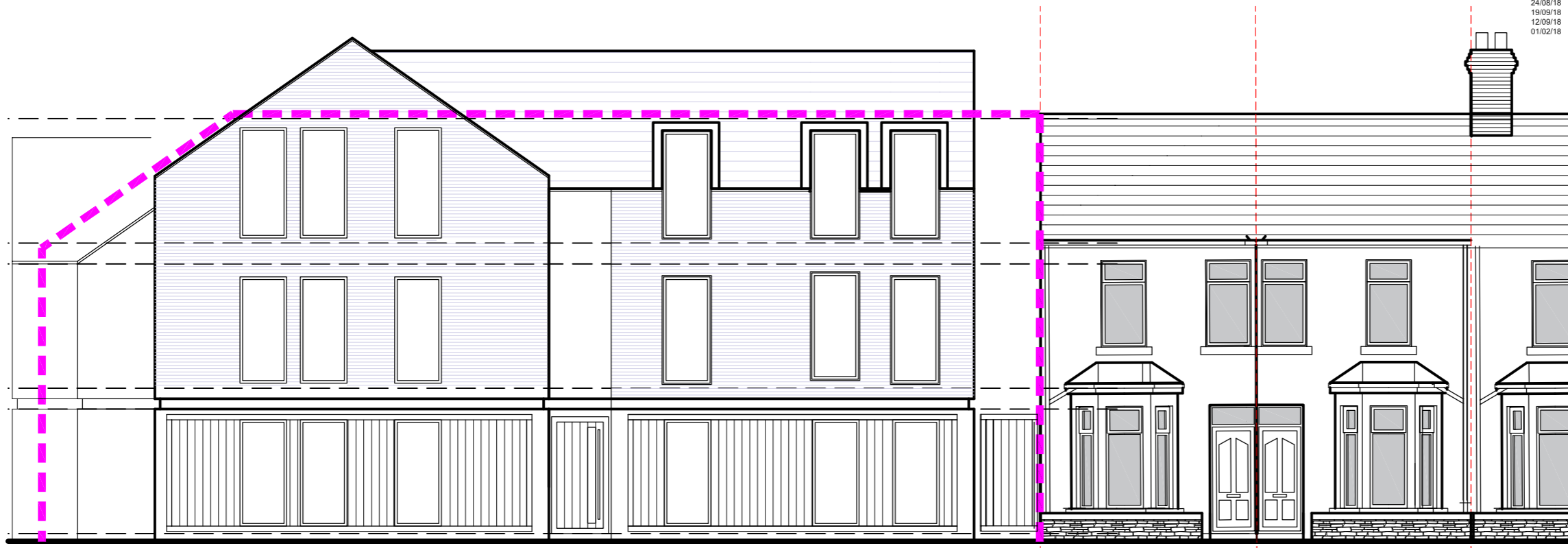
Proposed redevelopment		Job No.	17_082
160-166 Strathnairn Street		Dwg No.	AL(0)08
Roath, Cardiff		Rev.	G
Title Proposed Elevations Sheet 01			
Date	Drawn	Scale	
	IWJ	1:100	

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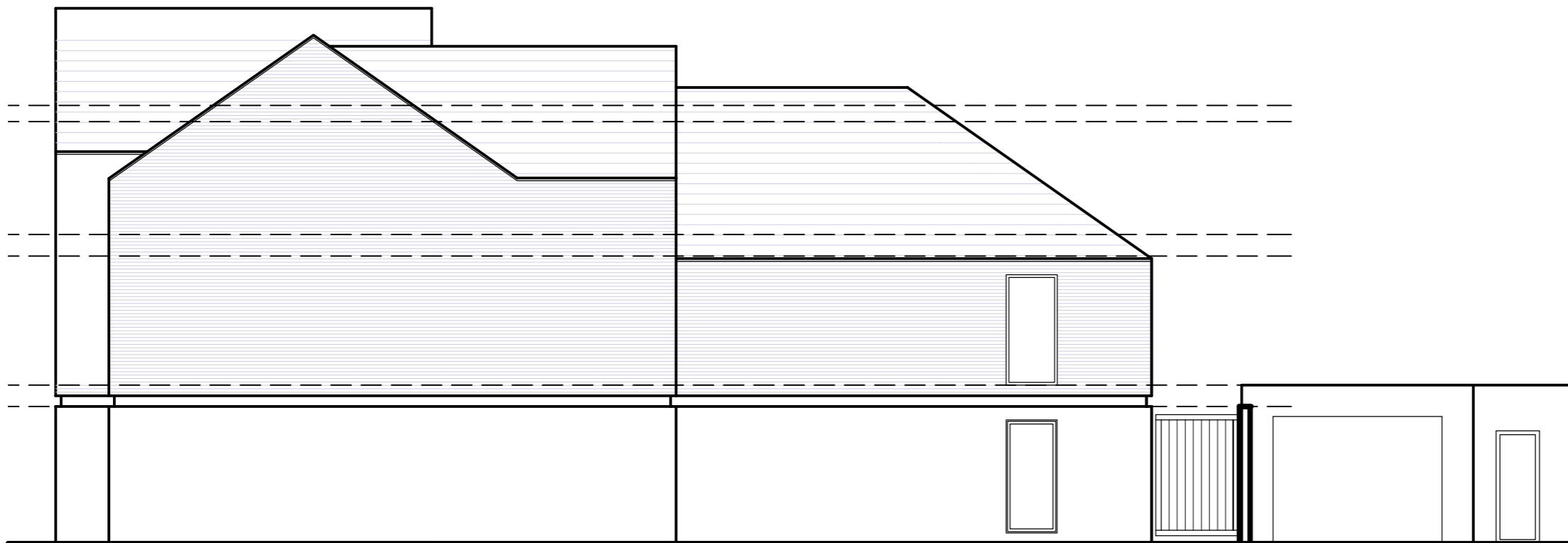
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Pacific Road, Cardiff, CF24 5HL www.c-jarchitects.co.uk
tel: 029 20452100

Date	Drawn	Check	Description
06/07/18	***	***	Context added to elevations
14/07/18	***	***	Building reduced in height
24/08/18	***	***	Building reduced in height
19/09/18	***	***	elevations updated following planners comments
12/09/18	***	***	elevations updated following planners comments
01/02/18	***	***	elevations updated following planners comments

Rev.
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Strathnairn Street Elevation



Rear of Cottrell Road Elevation

Profile of Original Building

Proposed redevelopment 160-166 Strathnairn Street Roath, Cardiff	Job No. 17_082 Dwg No. AL(0)09	Rev. F
Title Proposed Elevations Sheet 02		
Date	Drawn IWJ	Scale 1:100
		Town planners
Architects		Environmental & Urban design
Unit 1A, Compass Business Park, Pacific Road, Cardiff, CF24 5HL		www.ae-architects.co.uk tel: 029 20452100

COMMITTEE DATE: 14/08/2019

APPLICATION No. **19/01733/MJR** APPLICATION DATE: 14/06/2019

ED: **PONTPRENAU/ST MELLONS**

APP: TYPE: Reserved Matters

APPLICANT: Persimmon Homes

LOCATION: PHASE 2, LAND EAST OF CHURCH ROAD AND NORTH AND SOUTH OF, BRIDGE ROAD, OLD ST MELLONS

PROPOSAL: RESERVED MATTERS IN RESPECT OF 13/00578/DCO (APPEARANCE, LANDSCAPING, LAYOUT AND SCALE) FOR PHASE 2 OF ST EDERYNS VILLAGE COMPRISING OF 57 DWELLINGS WITH ASSOCIATED LANDSCAPING LAND RE-PROFILING ACCESS AND HIGHWAY WORKS AND DISCHARGE OF CONDITIONS 15, 22 AND 23 OF THE OUTLINE CONSENT

RECOMMENDATION 1 : That reserved matters consent and the partial discharge of conditions 15, 22 and 23 in respect of phase 2 be **GRANTED** subject to the following conditions:

1. This approval is in respect of the following drawings and documents :
 - Site location plan SL-01(b)Rev00
 - Replan of Plots SP-04(b) Rev05
 - Boundary Treatment SP-11 Rev03
 - Storey Height plan SP-10 Rev02
 - Material Treatment Plan SP-12 Rev03
 - Refuse Strategy Plan SP-13 Rev02
 - Street Scenes SS-01 RevA
 - Soft Landscaping Proposal TDA 2278.01
 - Tree Pit Detail TDA2108.23
 - Tree Pit Detail TDA2108.24
 - Single Garage SGD_CC_01
 - Lumley LY-WD17 RevN
 - Greyfriars 13120/6008.4 B
 - Greyfriars 13120/6008.3 B
 - Bickleigh 13120/6005 B
 - Alnwick 13120/6002 B
 - Hanbury 13120/6003 B
 - Rufford RF-WD17 Rev T
 - Hatfield 13120/6006 B
 - Clayton Corner 13120/6007.2 B
 - Roseberry 13120/6009 B
 - Chedworth 13120/6011 B
 - Addendum to Bat Box Location 618 Rev00
 - Engineering Plan 10134_001_01W

- Landscape Specification & Management Plan

Reason: To avoid doubt and confusion as to the approved plans for this development.

2. Screen walls shown on the approved layout drawing ref SP-11-Rev03 that adjoin the highway shall be constructed prior to the occupation of the dwelling that such means of enclosure would serve.
Reason: In the interests of the privacy of future occupiers and /or the visual amenities of the area (LDP policy KP5).
3. Notwithstanding condition 2 above and A1 of Class A of Part 2 of the Town and Country (General Permitted Development) Order 1995 (as amended) no means of enclosure shall be erected facing a public highway unless otherwise identified on drawing ref SP-11-Rev03 or without the prior written approval of the Local Planning Authority.
Reason: In the interests of visual amenities (LDP policy KP5).
4. Prior to the construction of any screen wall or retaining wall details of the materials to be used on any such wall visible from a highway shall be submitted to and approved by the Local Planning Authority and shall then be constructed in accordance with the approved details.
Reason: In the interests of visual amenities (LDP policy KP5).
5. No dwelling shall be occupied until the car parking space, and/or garage that serve it has been provided.
Reason: To ensure sufficient off street parking has been provided to serve each dwelling and in the interests of visual amenities (LDP policy T5).
6. The approved landscaping details shall be implemented during the first landscaping season following the development being brought into beneficial use.
Reason: In the interests of visual amenities (LDP policy KP5).
7. Notwithstanding drawing SP-04(b) Rev 02 a pedestrian link between the private drives in front of plots 693 and 696 shall be constructed prior to plot 695 being brought into beneficial use.
Reason: To encourage permeability (LDP policy KP5).
8. Prior to any dwelling being brought into beneficial use details of secure and covered cycle provision in accordance with the local planning authority's Managing Transportation Impacts (Incorporating Parking Standards) shall be submitted for the approval of the local planning authority and implemented as approved.
Reason: To encourage cycle use (LDP policies KP5 and T1).
9. The partial discharge of conditions 15, 22 and 23 of 13/00578 relates solely to Phase 2 (b) of this development as defined by the site area shown on drawing ref SL-01(b)Rev00.

Reason: To avoid doubt and confusion as to the extent of this consent.

RECOMMENDATION 2: To protect the amenities of occupiers of other premises in the vicinity attention is drawn to the provisions of Section 60 of the Control of Pollution Act 1974 in relation to the control of noise from demolition and construction activities. Further to this the applicant is advised that no noise audible outside the site boundary adjacent to the curtilage of residential property shall be created by construction activities in respect of the implementation of this consent outside the hours of 0800-1800 hours Mondays to Fridays and 0800 - 1300 hours on Saturdays or at any time on Sunday or public holidays. The applicant is also advised to seek approval for any proposed piling operations.

RECOMMENDATION 3 : Prior to the commencement of development, the developer shall notify the Local Planning Authority of the commencement of development, and shall display a site notice and plan on, or near the site, in accordance with the requirements of Article 12 of the Town & Country Planning (Development Management Procedure)(Wales)(Amendment) Order 2016.

1. **DESCRIPTION OF PROPOSED DEVELOPMENT**

- 1.1 The proposal is a reserved matters application for 57 dwellings. 18 would be 4 bedroom, 28 would be 3 bedroom, and 11 would be 2 bedroom. There would be 28 detached, 22 semi-detached and two short terraces (7 dwellings). The dwellings would be from the same palette of Persimmon house types previously approved elsewhere within the St Ederyn development.
- 1.2 Most of the dwellings would be 2 storeys but at focal points next to a junction there would be four 3 storey dwellings and four 2 1/2 storey dwellings next to two other junctions within this site.
- 1.3 The publicly visible elevations of 20 of the dwellings will be finished in a combination of Edenthal Clarence red brick with render sections. 32 of the dwellings would be finished in natural white or grey render and 5 finished in Oakthorpe red for focal buildings. The roofs would be grey. The colour of doors, windows, guttering, fascia boarding and cedar boarding would all be black. The materials to be used will match those used in the houses to the south. All of the garages will be finished in Edenthal Clarence red brick.
- 1.4 The dwellings facing the riverside park would be separated from it by 1.2m high railings to match those used for the dwellings to the south.
- 1.5 The application has been accompanied by a Non Technical Summary as the outline application was accompanied by an Environmental Statement. The applicant in his NTS states at paragraphs 12.5-12.8:

“In accordance with the Town and Country Planning (Environmental Impact Assessment) (England and Wales) Regulations 1999 (as amended), and as the proposal does not raise any additional significant environmental effects beyond those which were previously considered under the Outline Permission ES, it is not considered that a further addendum to the previous ES need be undertaken. This

NTS summarises the additional details submitted pursuant to the RM submission and any mitigation measures recommended as part of planning permission reference 13/00578/DCO.

The development of this site is considered to be important in meeting Cardiff Council's housing targets and addressing housing need.

The proposed development has considered relevant environmental issues including ecology, highways, landscape, hydrology, air quality and noise. In each respect the conclusion has been reached that there that need consideration, and that appropriate mitigation measures have been incorporated to ensure that impacts will be minimised.

Overall, the general conclusion reached that there are adequate mitigation measures available to ensure that the development described could proceed without giving rise to unacceptable environmental effects. The mitigation measures proposed would not have any adverse residual effects on the existing environment and will ensure that Cardiff's housing provision is enhanced."

1.6 Conditions 15, 22 and 23 are in respect of landscaping and noise that were attached to the outline consent.

2. **DESCRIPTION OF SITE**

2.1 The application site was fully described in the report on the outline planning application 13/0578, which was the subject of reports to the Planning Committee in 2013 and 2014. To recap the site covered by the outline consent is located in the north east of the city, bordered by the M4 to the north, the A48 to the south and A4232 to the west. The eastern boundary of the site extends beyond the River Rhymney towards Old St Mellons. No residential development would take place to the east of the River Rhymney or on the river's western bank as this land would be used for a riverside park with an adventure play area and extension to the Rhymney Trail.

2.1 The current reserved matters submission is in respect of land forming the northern part of Phase 2.

2.2 This reserved matters application is set back from the spine road behind dwellings that are under construction.

2.4. Most of the land to be developed as part of this phase slopes from west to east and has been cleared.

2.5 Dwellings are under construction to the south and west of the application site. A belt of new tree planting has taken place to the east of the application site and to the west of the river Rhymney.

3. **PLANNING HISTORY**

- 3.1 Outline planning permission (ref 13/0578) was granted on 1 August 2014 for up to 1020 new homes, village centre (comprising retail, employment and community uses), play areas and allotments; 2 form entry primary school, riverside park including extensions to Rhymney trail, all with associated landscaping, land re-profiling, access (vehicular, cycle and pedestrian) and highway works. This application was accompanied by an Environmental Statement and was the subject of conditions and a Section 106 agreement. The S106 Agreement covers various elements such as a riverside park (on either side of the Rhymney), junior school, community facilities, allotments, allotment building, community orchard, that are to be provided when triggers, based on differing occupation numbers, are met.

(The approval of the St Ederyn development preceded the approval of the Local Development Plan and SPGs approved since 2017).

- 3.2 Reserved matters consent for 130 dwellings for a combined Persimmon and Charles Church housing scheme was granted on the current application site and land to the south on 6/9/17 (17/00488/MJR). Approximately three quarters of this phase has been or is being built. The finishes of the Persimmon dwellings were different from the finishes to the Charles Church dwellings. In the main the Persimmon dwellings have less bedrooms than the Charles Church dwellings. The Hanbury, Bickleigh, Clayton (all 3 bedrooms) and Greyfriars (4 bedrooms) were among the Persimmon dwelling types approved at that time (and are included amongst the house types currently proposed)
- 3.3 Reserved matters consent 14/02556/MJR for 452 dwellings was granted in 13/05/2015 for the southern part of the overall site.
- 3.4 Reserved matters consent 17/01787/MJR for 244 dwellings was granted in 13/05/2015 for a central part of the overall site.
- 3.5 There have been numerous applications to address conditions, non-material amendments and for another phase of the development to the north west of the current proposal (19/00235/MJR).

4. **POLICY FRAMEWORK**

- 4.1 The policy issues in respect of the principle of development were fully examined when the outline planning permission was considered by the Planning Committee. The current application raises no new policy issues from those identified with the outline application and since the approval of the LDP that affect the determination of this submission.
- 4.2 The site forms part of the land allocated as a strategic site for development under Policy KP2(G) of the LDP.
- 4.3 Cardiff Local Development Plan (January 2016):

KP1 Level of Growth

KP2 (G) Strategic Sites - East of Pontprennau Link Road
KP5 Good Quality and Sustainable Design
KP6 New Infrastructure
KP8 Sustainable Transport
KP12 Waste
KP14 Healthy Living
KP15 Climate Change
EN4 River Corridors
EN6 Ecological Networks and Features of Importance for Biodiversity
EN7 Priority Habitats and Species
EN8 Trees, Woodland and Hedgerows
EN9 Conservation of the Historic Environment
EN13 Air, Noise, Light Pollution and Land Contamination
T1 Walking and Cycling
T2 Strategic Rapid Transit and Bus Corridor Enhancement
T5 Managing Transport Impacts
T6 Impact on Transport Networks and Services
T7 Strategic Transportation Infrastructure
C3 Community Safety/Creating Safe Environments
C5 Provision for Open Space, Outdoor Recreation, Children's Play and Sport
W2 Provision for Waste Management Facilities in Development

4.4 Supplementary Planning Guidance:

Green Infrastructure
Ecology & Biodiversity Technical Guidance Note
Trees And Development Technical Guidance Note
River Corridors Technical Guidance Note
Protection And Provision Of Open Space In New Developments Technical Guidance Note
Soils And Development Technical Guidance Note
Managing Transportation Impacts (Incorporating Parking Standards)
Residential Design Guide
Waste Collection and Storage Facilities

4.5 Planning Policy Wales, Edition 10 (December 2018).

5. **INTERNAL CONSULTEES RESPONSES**

5.1 Contamination Officer states:

No comments are made in relation to this reserved matters application.

5.2 Following the receipt of amended plans to address matters the Tree Officer identified he has no adverse observations.

5.3 The Transport Officer states:

The proposed road layouts offer 2m footways either side of the carriageway on what is assumed to be adopted highway.

There are areas of block paved residential road (assumed to be private roads) leading to private drive areas. The paved roads do not offer dedicated footways. The council would expect the shared areas to offer the pedestrian a safe area, of a minimum 2m in width. This should be incorporated into the proposed design. Although it should be noted that the shared / private areas serve more than 5 properties. The design should be reviewed to ensure that such facilities serve a maximum of 5 properties.

There are two 3m in width footway links to the south and south-west of the area leading to the spine road and southern residential areas. The link to the spine road has a section of steps. It is accepted that steps will be required to accommodate the local topography.

It should be noted that the proposal differs from the masterplan, which provided full access in a north & south direction at this point. The route was designated as "secondary access" in the Design Statement Report. It is considered important that the remaining access provide full cycle access through the proposed link (described as footway on plan).

There appears to be a missing link (ped / cycle) between the northern and southern sections of the layout. Should a link not be provided it is considered likely that a muddy path will develop to facilitate links.

Parking & Driveways.

The proposed drives for No. 466 need to be amended as they appear to link the highway at a junction and across the table ramp.

The drive for No. 467 is too long. Can the garage be omitted?

The parking areas for No. 491 are dislocated from the property. Why are they not adj to the property? This seems an awkward arrangement but it will be for the purchaser to decide whether this arrangement is acceptable.

Likewise, can the parking provision for No. 705 be reviewed to remove the dislocation, particularly as the end of the garden has a retaining structure. This seems an awkward arrangement but it will be for the purchaser to decide whether this arrangement is acceptable.

It is also noted that a number of the properties do not appear to be offering step free access to the rear of the house. How will the property owner move their bins and cycles?

No cycle parking facilities shown for any properties. Minimum requirement 1 secure & covered cycle parking space per bedroom.

Non-Tech Summary Doc

No new transportation material provided. Therefore no comment.

Design Statement

Access & Movement – States that much of the development is within 240m of a

bus stop as “shown on plan”. Plan isochrones illustrate as crow flies distances to proposed bus stops, not actual.

5.4 (a) The Waste Officer says that the Refuse Plan is fine.

(b) The Waste Officer in response to the Transport Officer’s comments states the worse case scenario we could give the properties with stepped access a bag collection rather than a bin which would make it easier for them. However most residents can manage the bins up and down a few steps.

Waste Management will not be responsible for damage to block paving however there seems to be an adequate turning head here for vehicles to manoeuvre.

6. **EXTERNAL CONSULTEES RESPONSES**

6.1 NRW states:

We have no objection to the application as submitted. We provide the following advice.

The redline boundary of the site shown on the submitted drawings is restricted to a small proportion of the previously proposed site for Phase 2. The application information shows the proposed site comprises built development only, does not contain soft landscaping and does not extend into the significant vegetated corridor to be created to the east along the River Rhymney. We therefore have no objection to the reserved matters application or to the discharge of condition 15.

We have no comments to make in relation to the discharge of conditions 22 and 23.

Our comments above only relate specifically to matters included on our checklist, *Development Planning Advisory Service: Consultation Topics* (September 2018), which is published on our website. We have not considered potential effects on other matters and do not rule out the potential for the proposed development to affect other interests, including environmental interests of local importance. We advise the applicant that, in addition to planning permission, it is their responsibility to ensure they secure all other permits/consents relevant to their development. Please refer to our website for further details.

6.2 GGAT states:

We note that the programme of archaeological work, as recommended in our initial response to the application 12/99578/DCO, was initiated and included phases of geophysical survey, field evaluation trenching, and excavation. This reserved matters application does not cause any change to the completion of this.

The discharge of conditions does not relate to any condition relating to the historic environment and we therefore have no comment to make.

6.3 Wales and West Utilities have provided a plan which shows no gas pipeline within the site.

6.4 South Wales Police state:

The Design and Access Statement has very little information of how the applicant intends to address any issues regarding community safety and security throughout the development

Recommendations

Though South Wales Police have no objection to this development they would wish for the contents of this report to be given due consideration and would like to make the following recommendations;

General Layout

1. Excessive permeability should be avoided with too many entrances into the site. Adequate links should be designed safe with high levels of surveillance and good lighting. Reason: *to encourage high use and provide safety and security to residents.*
2. Street lighting should comply with BS 5489:2013.
In order to maximize opportunities for surveillance and minimize the fear of crime it is necessary to provide an adequate lighting system. Lighting should be designed to provide a uniform spread of light, clear colour rendition, avoid deep shadows and minimise light pollution. Luminaries should be sturdy and resistant to vandalism, tampering and adverse weather conditions. Reason: *to enhance surveillance and reduce the risk and fear of crime.*
3. All communal areas and vehicle parking needs to be well lit. Reason: *to comply with Building Regulations Approved Document Q Security of Dwellings (Wales) effective on all developments from 18th November 2018.*
4. Trees and shrubs should be positioned away from the buildings giving a clear and unobstructed view of the boundary. All shrubs and hedges should have a maximum growth height of 1mtr, whilst all trees should be pruned up to a minimum height of 2mtrs, thereby maintaining a clear field of vision around the site. Mature trees should not mask lighting columns nor become climbing aids. Reason: *to enhance surveillance and reduce the risk and fear of crime.*
5. Ensure that all hard landscaping features such as coping stones, pavers etc. and street furniture are securely fixed and cannot be removed and used for criminal purposes. Reason: *to reduce damage and anti-social behaviour.*

Housing

1. All houses should be provided with defensible space to front. Reason: *to define private and semi-private space and prevent persons approaching windows.*

2. Vehicle parking for the houses should be located in curtilage if possible. If not practical, parking spaces should be located to the front of the vehicle owner's house in view of a habitual room (kitchen or living room). Reason: *to prevent theft and damage.*
3. Access to the rear of the houses should be denied by utilising fencing to at least 1.8mtrs high. If the rear garden is adjacent to open or public areas the fence should be 2.1mtrs high. Reason: *to prevent unauthorised entry and protect resident's property.*
4. Access to the rear gardens should be protected by a lockable gate which is constructed to the same height as the fencing and located as near as possible to the front building line. Reason: *to prevent unauthorised and entry and protect residents property.*
5. Ground floor windows and those easily accessible should comply with PAS24: 2016. Reason: *to comply with Building Regulations Approved Document Q Security of Dwellings (Wales) effective on all developments from 18th November 2018.*
6. External doors should comply with PAS 24 2016. Reason: *to comply with Building Regulations Approved Document Q Security of Dwellings (Wales) effective on all developments from 18th November 2018.*
7. Utility meters should be located externally and to the front of the houses. Reason: *to reduce the opportunity for distraction callers.*
8. Dusk to dawn lighting should be installed to the front and rear doors of the building. Reason: *to reduce the risk and fear of crime.*

South Wales Police would ask that these comments are forwarded to developers and are happy to provide assistance to developers to achieve the above.

Secured by Design

South Wales Police operates the Secure by Design (SBD) initiative and is a National Police Chiefs Council and Home Office scheme which promotes the inclusion of crime prevention measures into developments. A safe and secure environment is the prime objective of the Secured by Design initiative. To achieve this result, equal weight should be given to both environmental design and physical security.

For further information on Secured by Design standards please visit the website on www.securedbydesign.com

Policy Support

- The Crime & Disorder Act 1998 created a statutory partnership between local authorities, the police and other key partners to work together in reducing crime and disorder in all aspects of their work.
- Section 17 of the Act states:

“It is the duty of the authority to exercise its various functions with due regard to the likely effect on crime and disorder in its area and the need to do all that it reasonably can to prevent crime and disorder.”

- TAN 12 Design. Para 5.17.1 “Local authorities are required to have due regard to crime and disorder prevention in the exercise of their functions under Section 17 of the Crime and Disorder Act 1998. Consideration should be given to practical ways in which the design of development can reduce opportunities for crime, disorder and anti-social behaviour.”
- Planning Policy Wales
 - 4.10.12 Local Authorities under Legal Obligation to consider the need to prevent and reduce crime and disorder.....
 - 8.2.1. – Transport – Provision of safe, convenient and well signed routes
 - 9.1.1. –Housing – Objective to provide homes that are in good condition, in safe neighbourhoods and sustainable communities
 - 9.1.2. Housing – Greater emphasis on quality, good design, and the creation of places to live that are safe and attractive

6.5 Welsh Water states:

We have no objection to the application for approval of the reserved matters subject to compliance with the requirements of the drainage conditions imposed on the outline planning permission, and the subsequent applications to vary the conditions thereon.

Our response is based on the information provided by your application. Should the proposal alter during the course of the application process we kindly request that we are re-consulted and reserve the right to make new representation.

7. **REPRESENTATIONS**

- 7.1 This application has been advertised on site and in the press. The local members, community council and nearby residents have been notified of this application. The consultation/publicity period expired on 25/07/2019.
- 7.2 Councillors D Rees and J Williams have requested that this application be heard by the Planning Committee and that a Committee site visit take place.

They state:

Just to confirm we wish this matter to go to Planning Committee for material planning considerations regarding access arrangements, public transport concerns, lack of connectivity, quality of design, size of the plots, parking provision, loss of greenfield development

- 7.3 No objections have been received from the community council, local residents and local businesses to date.

8. **ANALYSIS**

- 8.1 The local planning authority is required to consider whether the details submitted with this reserved matters application are satisfactory and accord with the outline consent.
- 8.2 The approved outline development was EIA development and, therefore, the application to discharge the condition is treated as a 'subsequent application' under the 2017 EIA Regulations. It is considered that the environmental information set out in the Environmental Statement and its addendum, submitted in support of the outline application, is adequate to assess the environmental effects of the proposal.
- 8.3 The material submitted to discharge conditions 15, 22 and 23 does not raise any significant environmental effects beyond those which were previously considered in the Environmental Statement submitted with the outline planning application. The Pollution Control Officer had no objections to the Noise Assessment submitted with the previous application. Hunter acoustics have confirmed that double glazing and trickle ventilation is sufficient for this part of the site. The Tree Officer has no objection.
- 8.4 Where the environmental statement previously provided remains fit for purpose there is no statutory requirement to repeat the public consultation process and the local planning authority has the discretion to decide whether to consult statutory consultees for their views. In any event all relevant consultees have been consulted on this application.
- 8.5 Section 10 of the NTS in respect of Noise states:

An Environmental Noise Impact Assessment was undertaken in support of the outline planning application. The report also provided key input into the design and layout of both the overall site and the detailed design of the Phase 1 reserved matters application.

To further support the reserved matters application, a technical note has been prepared by Hunter Accoustics. The technical note draws on the noise assessment produced by SLR for the ES and phase 1 development. The technical note confirms that the entire area of the reserved matters submission falls below the 55dB Aeq.16hr satisfying the requirements of condition no. 21 of the outline permission. With regards to condition no. 20 of the outline permission, the technical note confirms that mechanical ventilation is not required for this reserved matters submission, and that standard thermal double glazing and trickle ventilation will be sufficient.

- 8.5 Table 18 in the section 'Does the development make efficient use of land and provide homes at reasonable density?' of the 'Residential Design Guide' Supplementary Planning Guidance identifies the following densities:

Within 400m of a District Centre 35+ dwellings per hectare and other parts of the residential area 30+ per hectare.

The application site is within 400m of the District Centre.

- 8.6 The Master planning framework for the overall development provides guidance on desired density levels within new residential development schemes. Density is seen as an important consideration for the following reasons:
- Provides a critical mass of people to support a full range of local facilities and regular public transport.
 - Higher density developments help to make public transport commercially viable and encourage walking and cycling.
 - Creates vibrant, self-sufficient and sustainable neighbourhoods.
 - Develops neighbourhoods which provide for every stage of a person's life.
 - Creates communities and development types that can change and adapt to different needs over time.
 - Ensures efficient use of land.
 - Supports creation of legible, attractive places place to live.
- 8.7 The Density Parameter section in the DAS at outline stage states that density will vary across the development to respond to the site's character and to enhance the sense of place at an average of 29-41 dph. Three broad housing densities were then specified.
- (i) Low Density: 20-30 dwellings per hectare (located in the more sensitive areas of the site, including the listed buildings and alongside the retained rural lane.
 - (ii) Medium density: 30-40 dwellings per hectare;
 - (iii) High density: 40-55 dwellings per hectare.
- 8.8 The DAS for this phase repeats these density levels but now terms high density as upper medium density. The DAS says the lower density will be developed along the eastern boundary of the site overlooking the riverfront park.
- 8.9 The site is approximately 1.545 ha in area. This does not include any part of the riverside park that is to be developed to the east of this site. Overall the density of the development would be approximately 38 dwellings per ha. This falls within the parameter identified in the outline consent for medium density.
- 8.10 The previously approved layout proposed 5 detached houses along the eastern boundary facing the riverside park for this part of the development. The current proposal is for 6 detached houses on this part of the application site. The current proposal for this part of the site would have a density of 25 dwellings per hectare. This falls within the outline application definition of low density. The lower density reflects the more sensitive location of this part of the site facing the park.
- 8.11 The proposed density levels are considered acceptable, accord with the outline consent, LDP policy KP5 (ix) (promoting the efficient use of land and developing at highest practicable densities) , Residential Design Guide SPG and reduces the pressure on greenfield sites currently unidentified for development.
- 8.12 The development fully complies with the Council Residential Design guidance on privacy and domination. Some of the rear gardens are 22m long and all of the gardens meet or significantly exceed the size of garden areas specified in the

Council's Residential Design guidance SPG.

- 8.13 It is considered that given a separation distance of 300m from the M4 and the housing to be built between this phase and the M4 the visual impact will not be significant. The site would in part be visible from the northern edge of Old St Mellons village at a distance of over 0.45 Km. The tree screen along the eastern side of the A4232 would screen the site from the west
- 8.14 No part of this phase of development is in a flood zone.
- 8.15 The site is not within a Conservation area and the nearest listed building St Julians Manor is 145 m from the northern extent of the proposed development and will be separated by future housing in phase 5
- 8.16 Dormice, Otters, bats, reptiles and birds are all known to inhabit the wider strategic development site and these species will be impacted upon by the overall development. The ecological issues were addressed fully in the reports on applications 14/02550 and 14/02551, subject to condition 14 of the outline consent being addressed. NRW has previously considered this and NRW has no objection to the current submission.
- 8.17 Play facilities are to be provided in the Village Green to the south west and within a future riverside park to be provided to the east.
- 8.18 Vehicular access to the site will be from the estate road that serves the remainder of the St Ederyns development. The road and footpaths accord with the layout approved for application 17/00488/MJR. The layout retains pedestrian routes to the east, west and south. Phase 5 to the north which has yet to be submitted will also have a link from this proposed development.
- 8.19 The Section 106 Agreement for the overall development contributes to the provision of a bus service, a year's bus pass for future residents and a Rhymney Trail link. A shared footway/cycleway from the overall development to the underpass under the A48 is proposed. These measures seek to encourage the use of sustainable transport modes in line with the Council's transport strategy. The first 25% of the Bus Service Obligation was paid in 2018 with a further three payments to be paid at each anniversary. Persimmon has advised that the second payment has been made this year to Cardiff Bus. The overall bus service contribution is £2,080,000.
- 8.20 52 of the proposed dwellings have 2 car parking spaces each on driveways, In addition 11 of the dwellings would have garages and 7 have integral garages. Five of the 2 bedroom dwellings have 1 parking space each. The Council's approved car parking standards for non central areas specifies a maximum of 2 car parking spaces per 2+ bedroom dwellings. Garages are not normally included as car parking spaces. The parking proposed to serve this proposal is in line with the SPG and the parking provision previously approved for other parts of the St Ederyn's development.
- 8.21 The Transport Officer has not objected to the application but does raise a number

of points to which I would respond as follows:

The road layout referred to by the Transportation Officer in his first two points matches the approved layout for the previous application. Persimmon state that the shared surface leading to the private drives are going to be lightly trafficked with minimal speeds achievable. Persimmon have amended their scheme to show vulnerable user corridors leading to the private drives facing the riverside park.

The previously approved layout included a 3m wide footpath link between the northern and southern parts of the development and this repeated in the current application. The part of the link within the application site is 17m long and the footpath link on the land to the south is 25m long. Persimmon has relabelled the link as a cycle/pedestrian route. (A north/south cycleway is to be provided running alongside the spine road).

No vehicular link was shown between this part of the site and the land to the south on the earlier consent. The driveway for plot 466 has been amended so as to no longer adjoin the junction or cross the table ramp.

The driveway for plot 467 may facilitate a third car parking space but this is not so significant an issue as to warrant the refusal of this application.

The parking area for plot 491 is at the end of that property's rear garden linked by a garden path. This is an arrangement that has previously been accepted elsewhere in the overall development and keeps the car parking area away from a road junction. The parking for plot 705 is similar and linked by a garden path (no steps are shown) and pavement.

Six of the proposed dwellings include steps to the rear, which reflects the sloping nature of the site (two of which have garages where cycles can be stored). Where steps are included three of the parking areas are elongated and could accommodate bins/cycle parking at level. Four of the dwellings on the earlier consent also had steps to the rear.

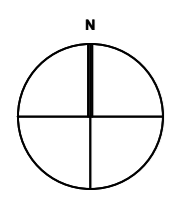
Persimmon are happy for a condition to require a rear cycle shed.

A pedestrian link to the front of plot 695 would increase permeability but was not a requirement of the earlier consent. Persimmon state "We would not provide a link purely between private drives as this would encourage persons to travel along what is a private drive. We have customers complaining about this issue frequently on previous developments. We can, however, provide a link adjacent to the private drive but this will encroach into the structural planting." However, this link would only serve 5 dwellings with other properties able to have access via the riverside park to the east or the internal road to the west.



- 8.22 The amount of affordable housing was specified in the Section 106 Agreement. Almost all the affordable housing has been grouped close to the facilities to be provided in the District Centre, including the bus stops. No affordable housing is proposed or required as part of this phase. No affordable housing was included in

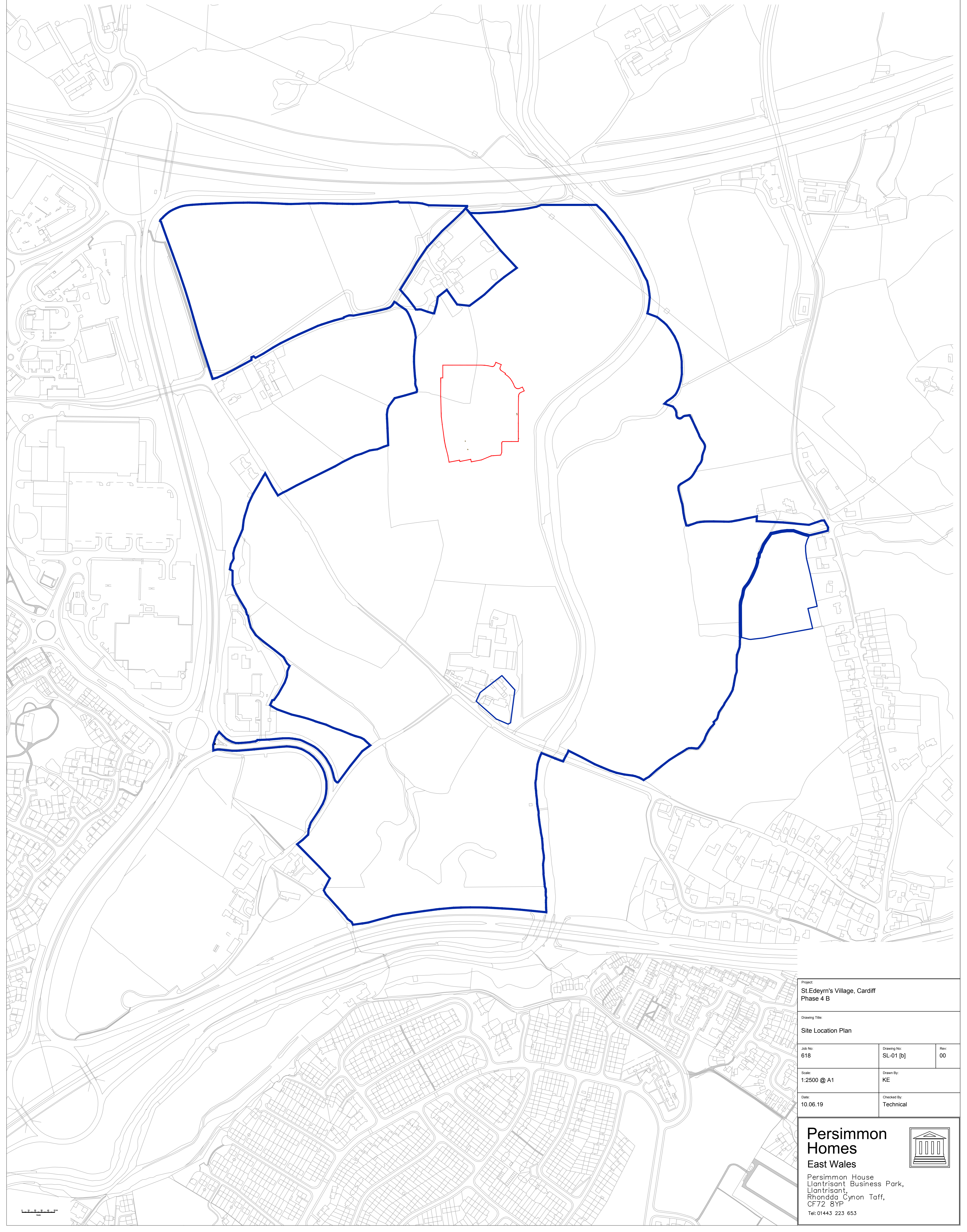
the earlier approval on this site and the adjoining land to the south.

- 8.23 The landscaping for the earlier approval indicated 11 trees to be planted in this part of that application. The current landscaping scheme is for 12 trees.
- 8.24 The outline consent gave approval for up to 1020 dwellings on this greenfield site. The approved Local Development Plan allocates this site and adjoining land as a Strategic Site for Residential Development. The land the subject of this application has previously been granted consent for residential development and ground re-profiling has taken place. The site is now a construction site, part of an ongoing residential development and can only be considered to be a former greenfield site.
- 8.25 The new community at St Ederyns will be centred on the new primary school, community facility and retail units to the south. In addition the new community will be in close proximity to the existing Unicorn public house and St Ederyns church. Furthermore the riverside park, children's play facilities, allotments and community orchard will all contribute to the wellbeing of future residents.
- 8.26 Well-Being of Future Generations Act 2016 - Section 3 of this Act imposes a duty on public bodies to carry out sustainable development in accordance with the sustainable development principle to act in a manner which seeks to ensure that the needs of the present are met without compromising the ability of future generations to meet their own needs (Section 5). This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable impact upon the achievement of wellbeing objectives as a result of the recommended decision.
- 8.27. Section 17(1) of the Crime and Disorder Act 1998 imposes a duty on the Local Authority to exercise its various functions with due regard to the likely effect of the exercise of those functions on, and the need to do all that it reasonably can to prevent, crime and disorder in its area. This duty has been considered in the evaluation of this application. The South Wales Police have no objections and their comments have been forwarded to the applicant. The layout is generally in line with their comments and the previous approval. It is considered that there would be no significant or unacceptable increase in crime and disorder as a result of the proposed decision.
- 8.28. Equality Act 2010 – The Equality Act 2010 identifies a number of 'protected characteristics', namely age; disability; gender reassignment; pregnancy and maternity; race; religion or belief; sex; sexual orientation; marriage and civil partnership. The Council's duty under the above Act has been given due consideration in the determination of this application. It is considered that the proposed development does not have any significant implications for, or effect on, persons who share a protected characteristic
- 8.29 The proposal is considered to increase the number of and variety of new dwellings available in Cardiff and accords with the outline consent, LDP policies and SPGs. There are no objections from consultees. It is considered that consent should be granted.



Site Legend

-  Application Boundary
-  Outline Consent Boundary

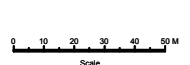


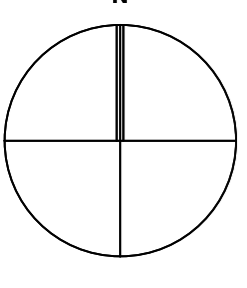
Project: St.Edeyrn's Village, Cardiff Phase 4 B		
Drawing Title: Site Location Plan		
Job No: 618	Drawing No: SL-01 [b]	Rev: 00
Scale: 1:2500 @ A1	Drawn By: KE	
Date: 10.06.19	Checked By: Technical	

**Persimmon
Homes**
East Wales



Persimmon House
Llantrisant Business Park,
Llantrisant,
Rhonda Cynon Taff,
CF72 8YP
Tel: 01443 223 653





Site Legend

- Application Boundary
- Boundary Fencing
- Retaining Structure
- Block Paved Raised Junction / Rumble Strip
- Private Parking Space
- External Door
- Garage Door
- Allocated Refuse Collection Point
- 1M High Bollards

External Works

- Highway
- Footpath
- Front Garden
- Rear Garden
- Open Space
- Driveways
- Private Footpath
- Attenuation Pond / River

Note - Colour for illustrative purposes only

House Type Schedule

Persimmon Homes (57)

Name	Area ^{m²}	Beds	Total
Almwick	0638	2	11
Hartbury	0781	3	12
Rufford	0870	3	07
Bickleigh	0911	3	02
Hatfield	0969	3	06
Clayton Corner	0999	3	01
Greyfriars C1	1068	4	02
Greyfriars C2	1068	4	02
Roseberry	1096	4	03
Lumley	1220	4	02
Chedworth	1222	4	09
Site Total			57



Local Equipped Area of Play

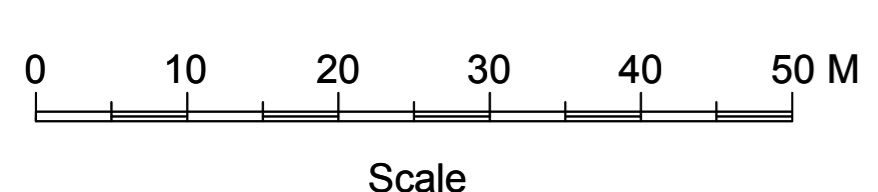
The Oaks Phase 2

The Oaks Phase 3

The Oaks Phase 3

The Oaks Phase 3

Two Form Entry School Site



Rev 05 - Vulnerable User Corridors added to Shared Surfaces 01.08.19
 Rev 04 - Cycle way note added 30.07.19
 Rev 03 - Boundary treatments added & Plot 466 road alteration 30.07.19

Project: St.Edeyrn's Village, Cardiff Phase 4		
Drawing Title: Site Plan - Replan of Plots		
Job No: 618	Drawing No: SP-04 [b]	Rev: 05
Scale: 1:500 @ A1	Drawn By: KE	
Date: 13/05/19	Checked By: Technical	

Persimmon Homes

East Wales

Persimmon House
Llantrisant Business Park,
Llantrisant,
Rhondda Cynon Taff,
CF72 8YP
Tel: 01443 223 653



STREET SCENE A - A

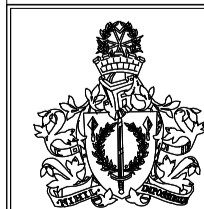


STREET SCENE B - B



Site Plan
(Scale 1:1250)

A	Persimmon Homes Layout amendments	09.07.19
Rev	Description	Date
Project: St Ederyns Phase 4B		
Drawing Title: Street Scenes - Charles Church & Persimmon Homes Planning		
Job No: -	Drawing No: SS-01	Rev: A
Scale: 1:250 @ A1	Drawn By: KE	
Date: 28.05.19	Checked By: Technical	

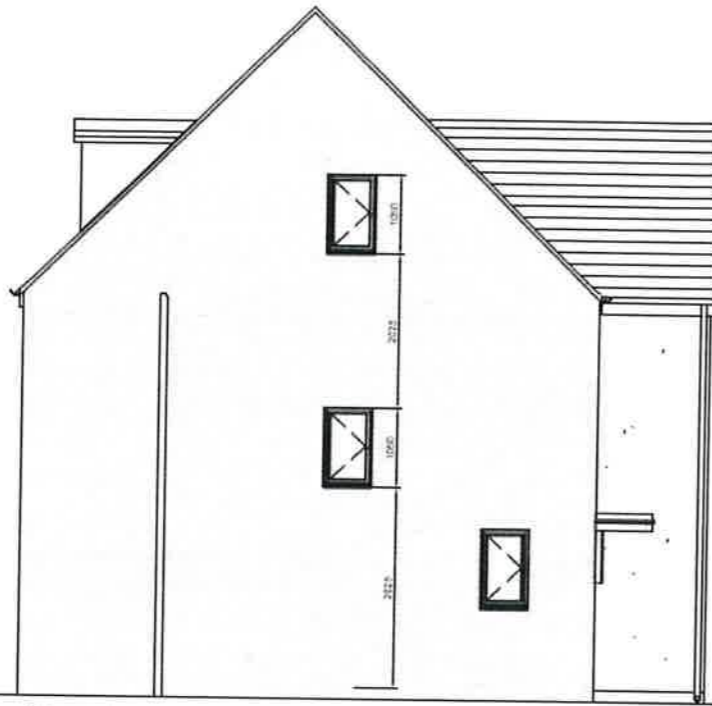


CHARLES CHURCH

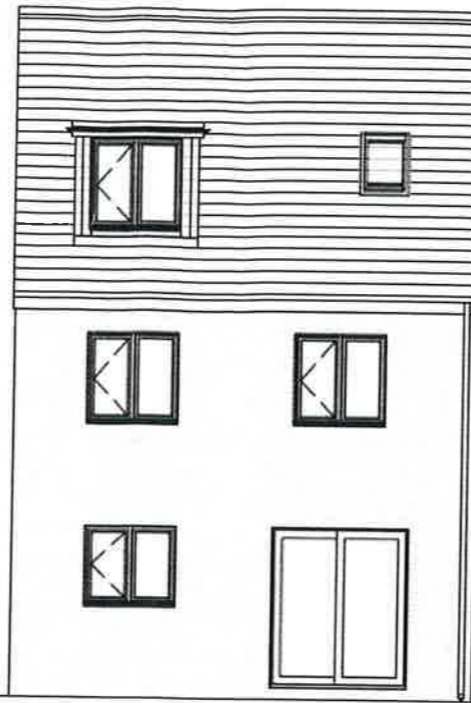
Charles Church Developments Ltd
Llantrisant Business Park,
Llantrisant,
Rhondda Cynon Taff,
CF72 8YP
Tel: 01443 445400



Front Elevation



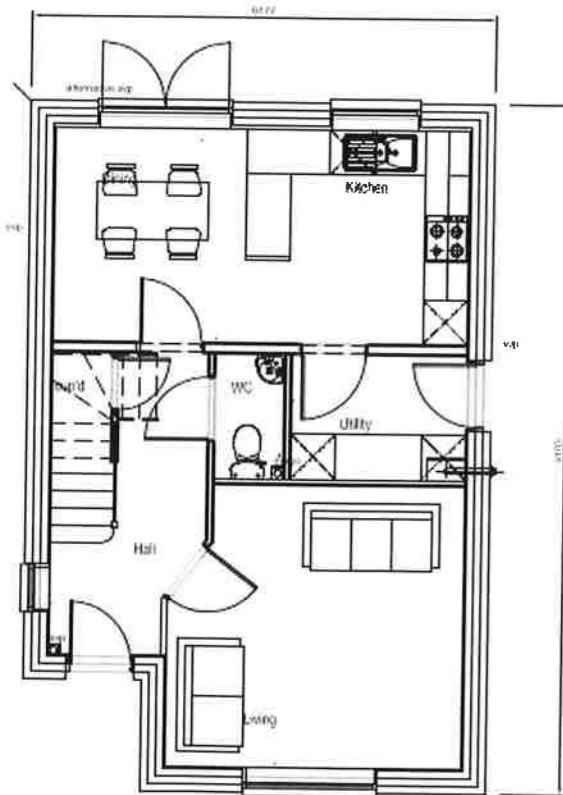
Side Elevation



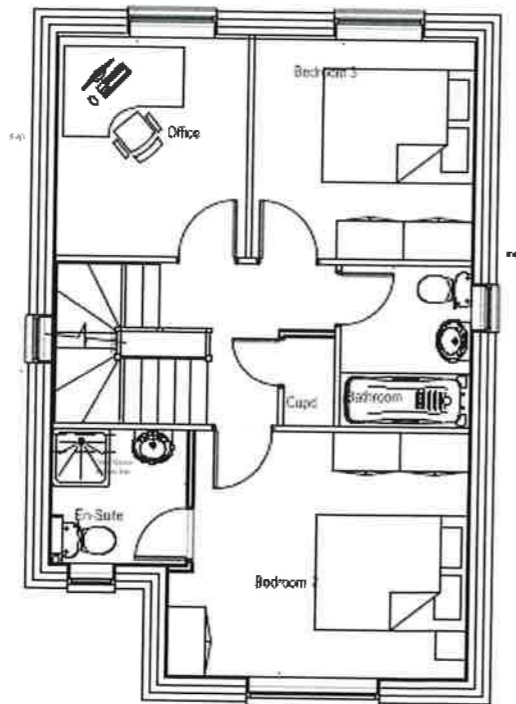
Rear Elevation



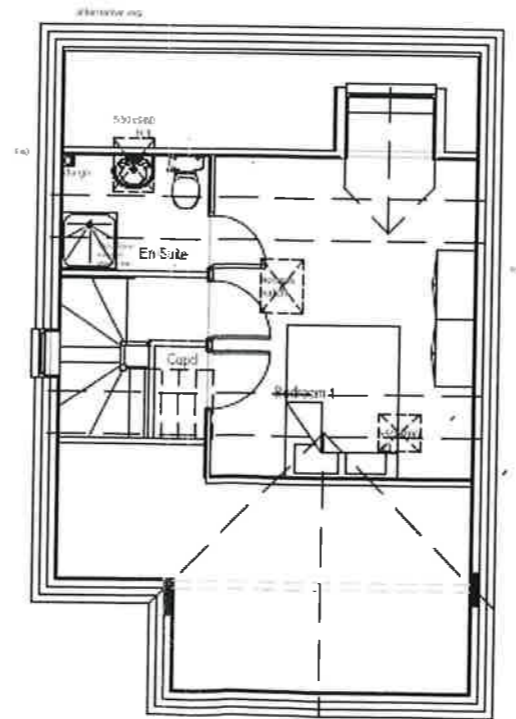
Side Elevation



Ground Floor Plan



First Floor Plan



Second Floor Plan

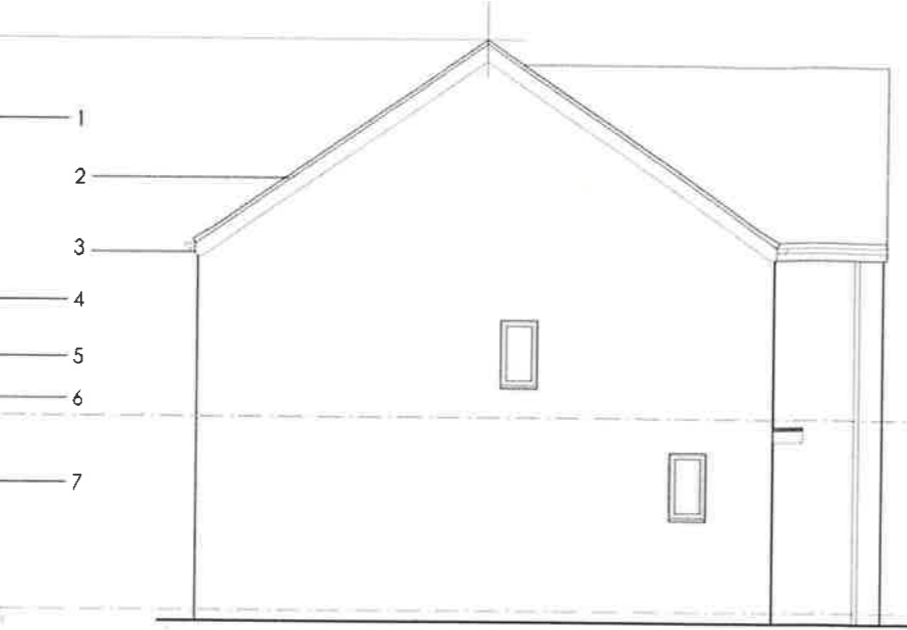
PERSIMMON
HOMES



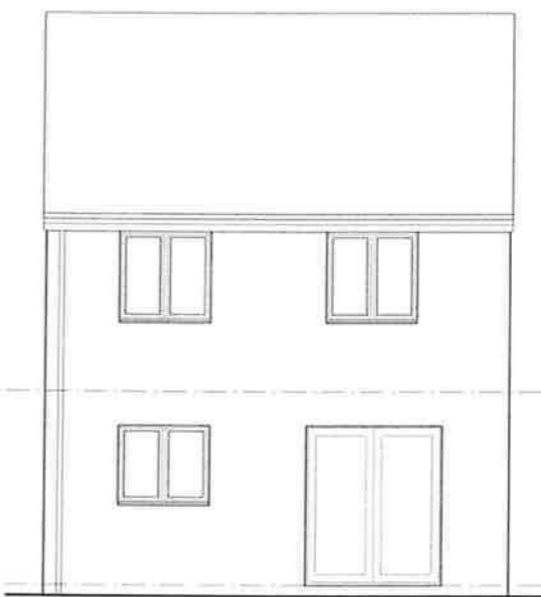
1220sqft	
Lumley (Contemp)	080613
LY-WD17	500@A1, 100@A3
Plans & Elevations Planning	
	Rev. H



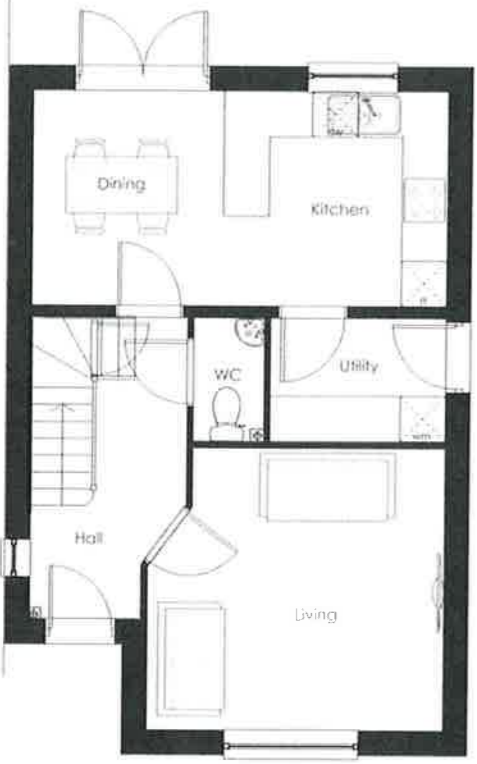
FRONT ELEVATION



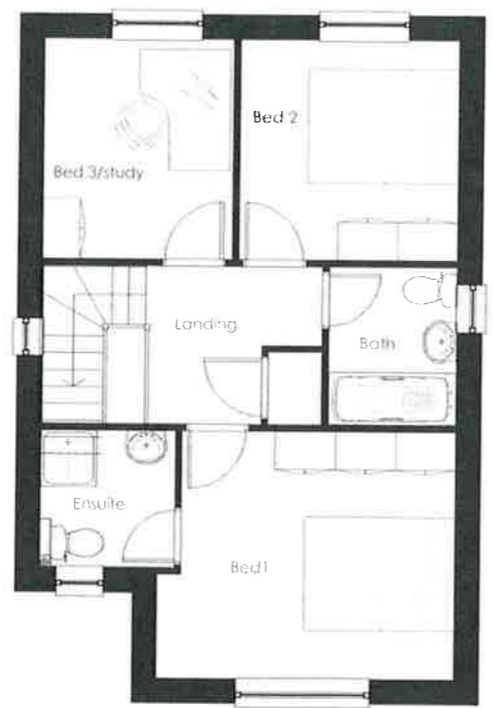
SIDE ELEVATION



REAR ELEVATION



GF PLAN



1F PLAN



SIDE ELEVATION @1:200

1. Roof material to be traditional flat profile tile
2. Bargeboard clipped on verge to gable
3. Clipped eaves
4. Grey casement windows
5. Black UPVC rainwater goods
6. Horizontal timber boarding
7. Brick or render facing treatment
8. Village door style

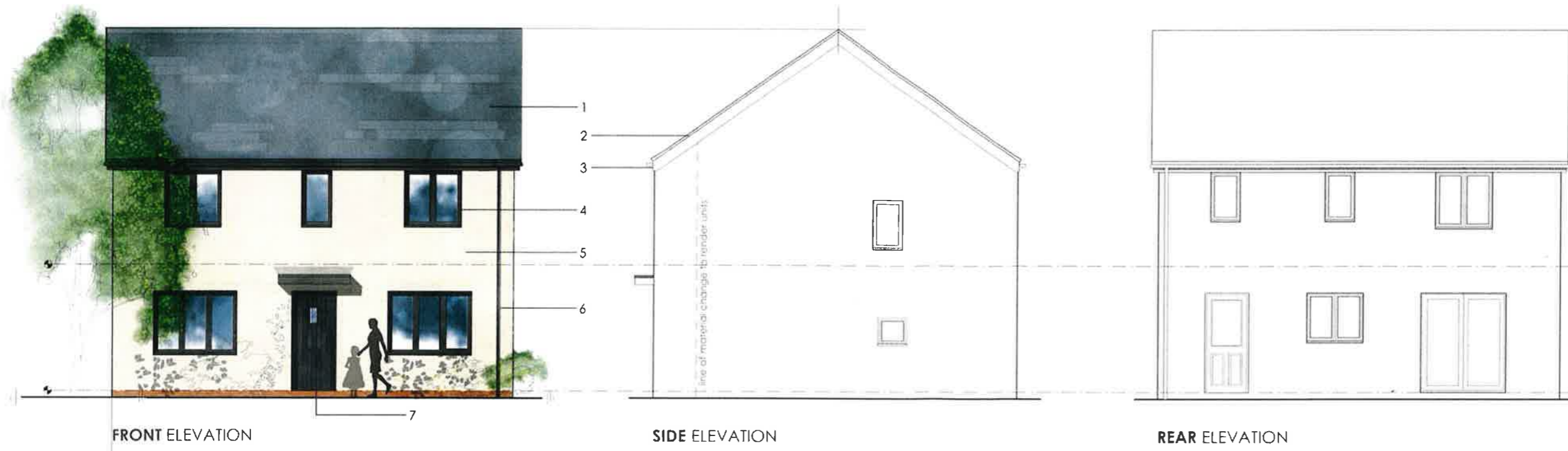
Note: Openings positioned within cavity - 100mm reveal depth.

B: Drawing revised following client comments, email dated 03.03.15
 A: Drawing revised following client comments, email dated 17.02.15
 Amendments

JL 04.03.15
 TF 24.02.15
 By Date

Persimmon - **HATFIELD** 969 sqft

Job No./Drawing No. 13120/6006 B	Job Title Phase 1: St Edeyrs, Cardiff	
Scale 1:100 A3	Date 10.2014 TF	
Drawing Title Hatfield		Persimmon Homes East Wales Persimmon House Llantrisant Business Park, Llantrisant, Rhondda Cynon Taf, CF72 8YP Tel 01443 222 5100
All Dimensions to be checked on site nrd Design Ltd - The Tobacco Factory - Raleigh Road - Bristol BS3 1TF - Tel: 0117 9530059 - www.nrd-design.com		



FRONT ELEVATION

SIDE ELEVATION

REAR ELEVATION



GF PLAN



1F PLAN

1. Roof material to be traditional flat profile tile
2. Bargeboard clipped on verge to gable
3. Clipped eaves
4. Grey casement windows
5. Brick or render facing treatment
6. Black UPVC rainwater goods
7. Village door style

Note: Openings positioned within cavity - 100mm reveal depth.

B: Drawing revised following client comments, email dated 03.03.15
 A: Drawing revised following client comments, email dated 17.02.15
 Amendments

JL 04.03.15
 TF 24.02.15
 By Date

Persimmon - **CHEDWORTH** 1222 sqft

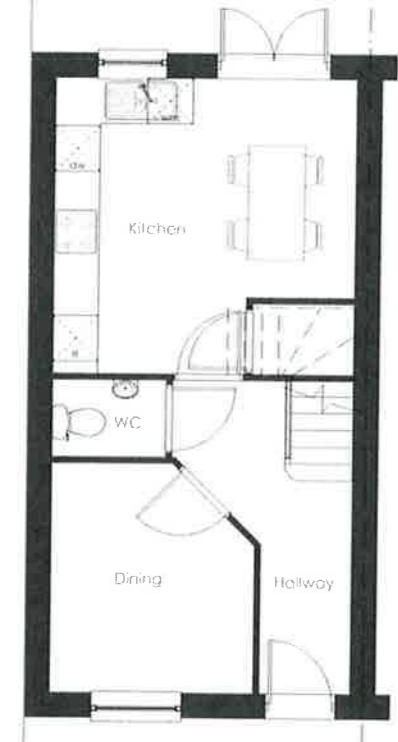
Job No/Drawing No 13120/6011 B	Job Title Phase 1: St Edeyrns, Cardiff	
Scale 1:100	Date 10.2014	
Drawn TF	Drawing Title Chedworth	<p>Persimmon Homes East Wales</p> <p>Persimmon House Llantrisant Business Park, Llantrisant, Rhondda Cynon Taf, CF72 8YP t:01443 221250</p>
<p>All Dimensions to be checked on site</p> <p>and Design Ltd - The Tobacco Factory - Raleigh Road - Bristol BS3 1TF - Tel: 0117 9530059 - www.pnd-design.com</p>		



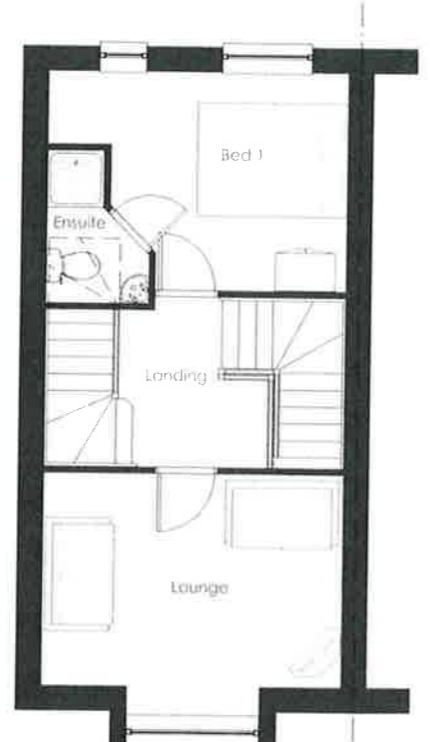
FRONT ELEVATION

SIDE ELEVATION

REAR ELEVATION



GF PLAN



1F PLAN



2F PLAN


1. Roof material to be traditional flat profile tile
2. Bargeboard clipped on verge to gable
3. Overhanging eaves
4. Grey casement windows
5. Grey casement windows with projecting surround detail
6. Render facing treatment
7. Village door style with surround
8. Black UPVC rainwater goods

Note: Openings positioned within cavity - 100mm reveal depth.

B: Drawing revised following client comments, email dated 03.03.15
 A: Drawing revised following client comments, email dated 17.02.15
 Amendments

JL 04.03.15
 TF 23.02.15
 By Date

Persimmon - **GREYFRIARS (C1)** 1068 sqft

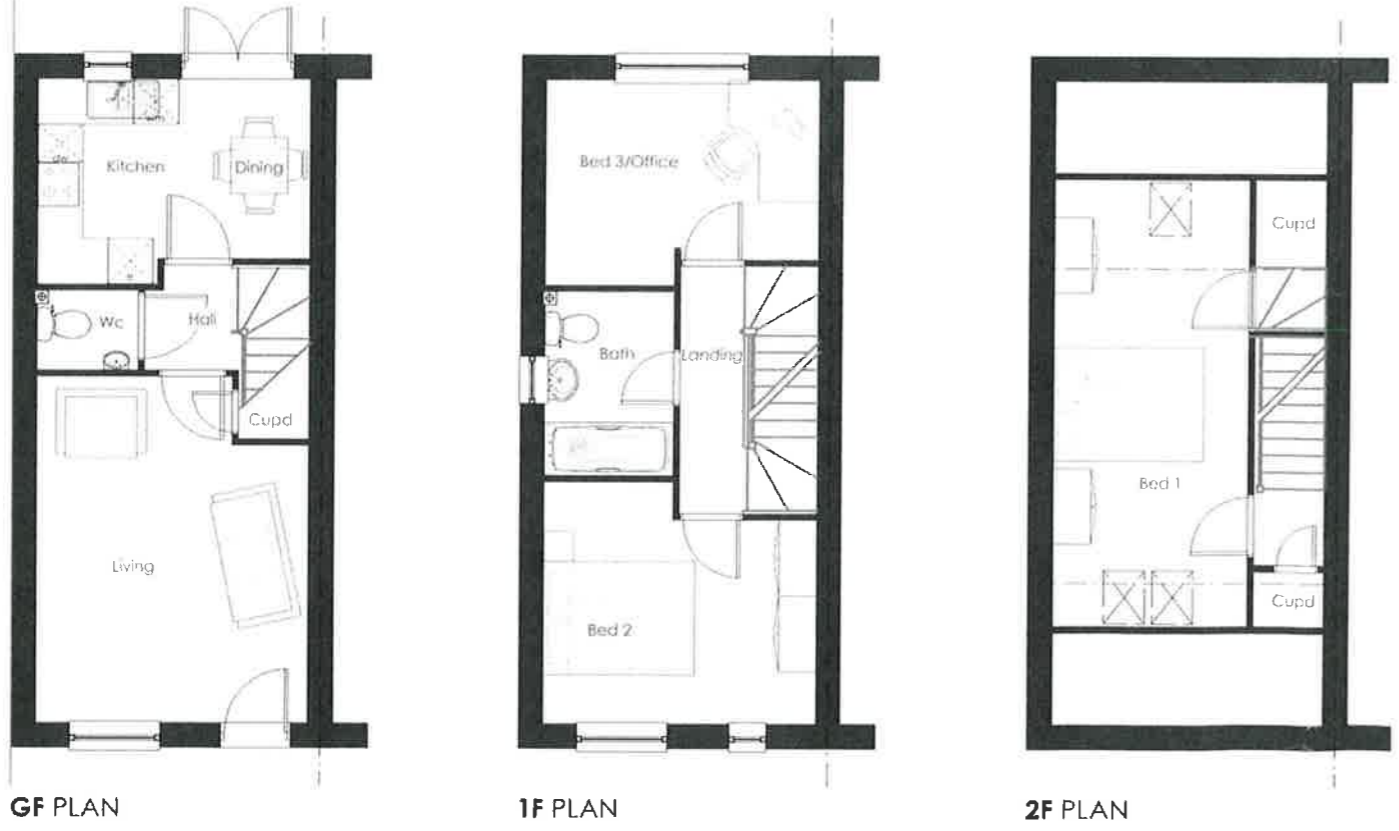
Job No/Drawing No 13120/6008.3 B	Job Title Phase 1: St Edeyrns, Cardiff	 <p>Persimmon Homes East Wales Persimmon House Llantrisant Business Park Llantrisant, Rhondda Cynon Taf, CF72 8YP Tel 01443 223 8300</p>
Scale 1:100 @ A3	Date 10.2014 TF	
Drawing title Greyfriars (C1)		
<small>All Dimensions to be checked on site. nat Design Ltd - The Tobacco Factory - Raleigh Road - Bristol BS3 1TF - Tel 0117 9530059 - www.nat-design.com</small>		



FRONT ELEVATION

SIDE ELEVATION

REAR ELEVATION



GF PLAN

1F PLAN

2F PLAN

1. Roof material to be traditional flat profile tile
2. Bargeboard clipped on verge to gable
3. Clipped eaves
4. Grey casement windows
5. Black UPVC rainwater goods
6. Horizontal timber boarding
7. Brick or render facing treatment
8. Village door style with white render surrounds

Note: Openings positioned within cavity - 100mm reveal depth.

B: Drawing revised following client comments, email dated 03.03.15
 A: Drawing revised following client comments, email dated 17.02.15
 Amendments

JL 04.03.15
 TF 24.02.15
 By Date

Persimmon - BICKLEIGH 912 sqft

Job No/Drawing No 13120/6005 B	Job Title Phase 1: S1 Edeyrns, Cardiff	<p>Persimmon Homes East Wales Persimmon House Llantrisant Business Park, Llantrisant, Rhondda Cynon Taf, CF72 8YP Tel 01443 223 500</p>
Scale 1:100 @ A3	Date 10.2014 Drawn TF Drawing Title Bickleigh	
All Dimensions to be checked on site nord Design Ltd - The Tobacco Factory - Raleigh Road - Bristol BS3 1TF - Tel: 0117 9530059 - www.nord-design.com		



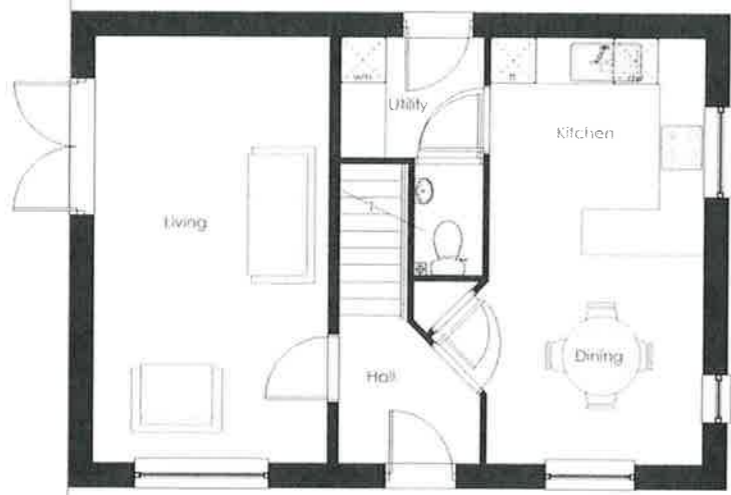
SIDE ELEVATION @ 1:200

1. Roof material to be traditional flat profile tile
2. Bargeboard clipped on verge to gable
3. Clipped eaves
4. Grey casement windows with white render surround
5. Black UPVC rainwater goods
6. Horizontal timber boarding
7. Brick or render facing treatment
8. Village door style

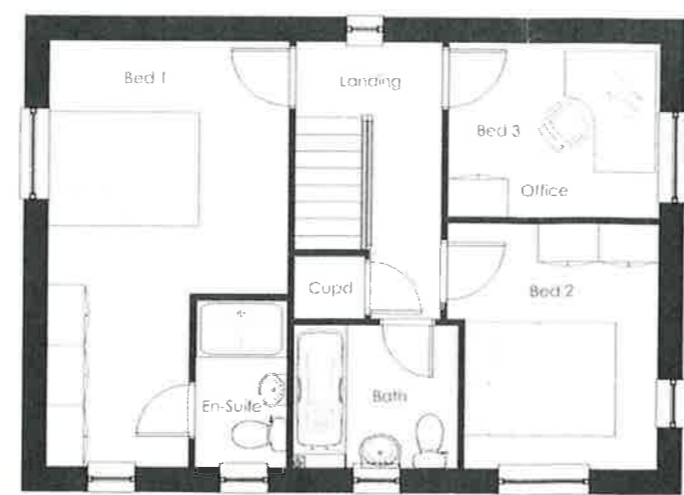
Notes: Openings positioned within cavity - 100mm reveal depth.
Rear door & landing window optional, refer to layout.

B: Drawing revised following client comments, email dated 03.03.15
A: Drawing revised following client comments, email dated 17.02.15
Amendments

JL 04.03.15
TF 24.02.15
By Date



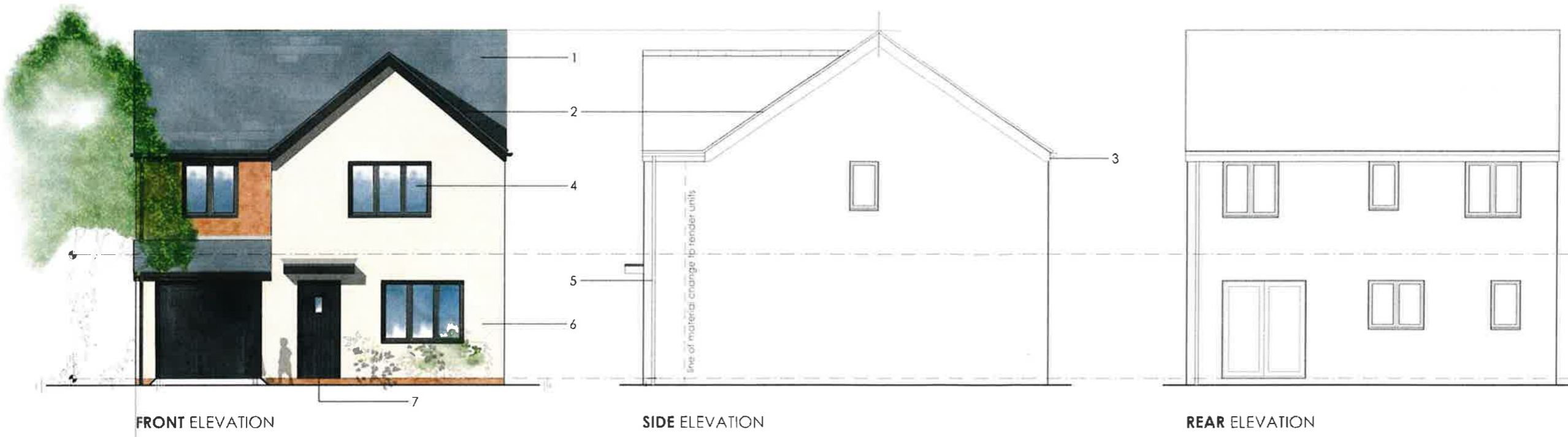
GF PLAN



1F PLAN

Persimmon - CLAYTON CORNER 999 sqft

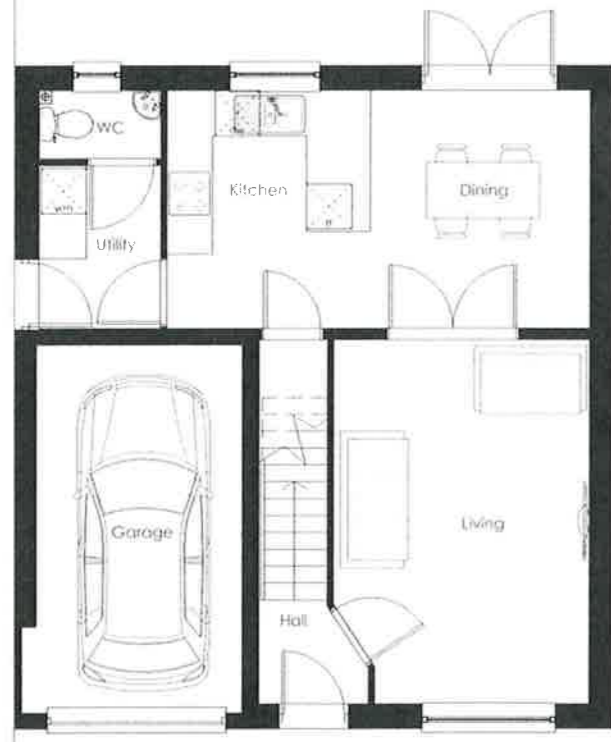
Job No/Drawing No 13120/6007.2 B	Job Title Phase 1: St Edeyrns, Cardiff	 <p>Persimmon Homes East Wales Persimmon House Llantrisant Business Park, Llantrisant, Rhondda Cynon Taff, CF72 8YP Tel 01442 229 5350</p>
Scale 1:100	Date 10/2014	
Drawn TF	Drawing Title Clayton Corner	
<small>All Dimensions to be checked on site nad Design Ltd The Tobacco Factory Raleigh Road Bristol BS3 1TF Tel 0117 9530059 www.nad-design.com</small>		



FRONT ELEVATION

SIDE ELEVATION

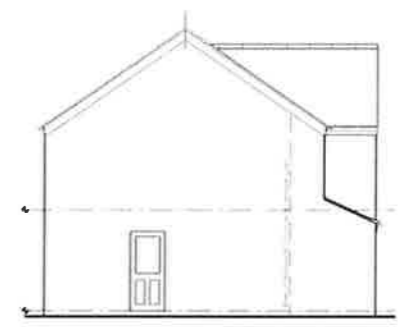
REAR ELEVATION



GF PLAN



1F PLAN



SIDE ELEVATION @1:200

1. Roof material to be traditional flat profile tile
2. Bargeboard clipped on verge to gable
3. Clipped eaves
4. Grey casement windows
5. Black UPVC rainwater goods
6. Brick or render facing treatment
7. Village door style

Note: Openings positioned within cavity - 100mm reveal depth.

B: Drawing revised following client comments, email dated 03.03.15
 A: Drawing revised following client comments, email dated 17.02.15
 Amendments

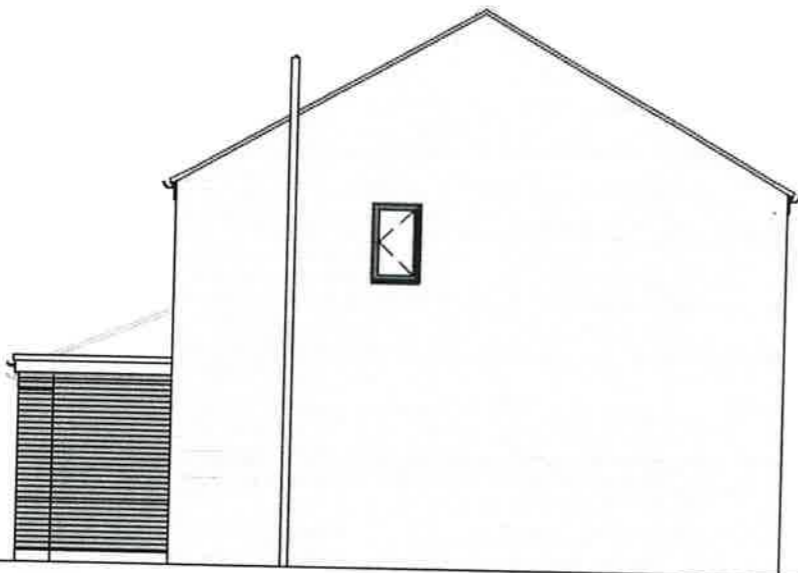
JL 04.03.15
 TF 24.02.15
 By Date

Persimmon - ROSEBERRY 1096 sqft

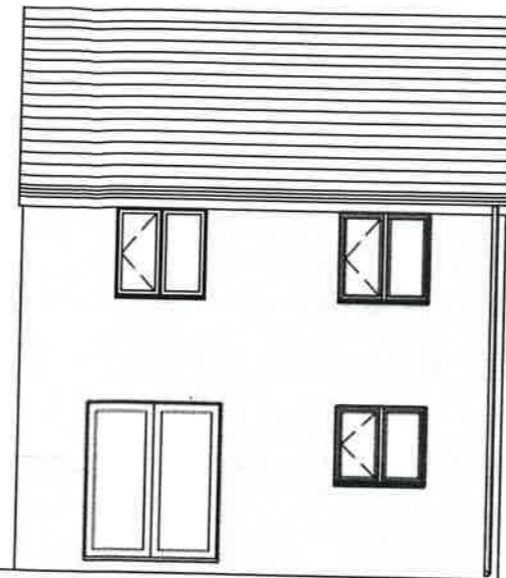
Job No/Drawing No 13120/6009 B	Job Title Phase 1: St Edeyrns, Cardiff	<p>Persimmon Homes East Wales Persimmon House Llantrisant Business Park, Llantrisant, Rhondda Cynon Taff, CF72 8YF Tel: 01493 201500</p>
Scale 1:100 @ A3	Date 10.2014	
Drawn TF	Drawing Title Roseberry	
All Dimensions to be checked on site		
<p>and Design Ltd - The Tobacco Factory - Raleigh Road - Bristol BS3 1TF - Tel: 0117 9530059 - www.pnd-design.com</p>		



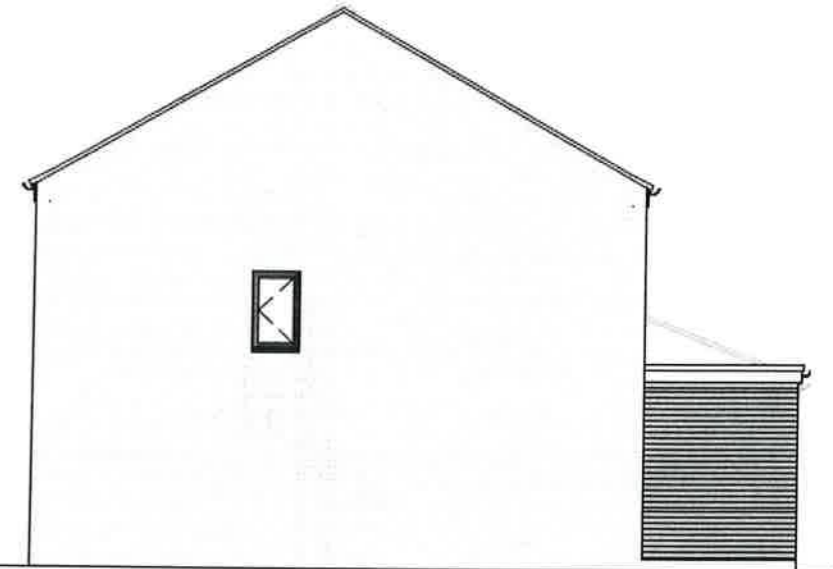
Front Elevation



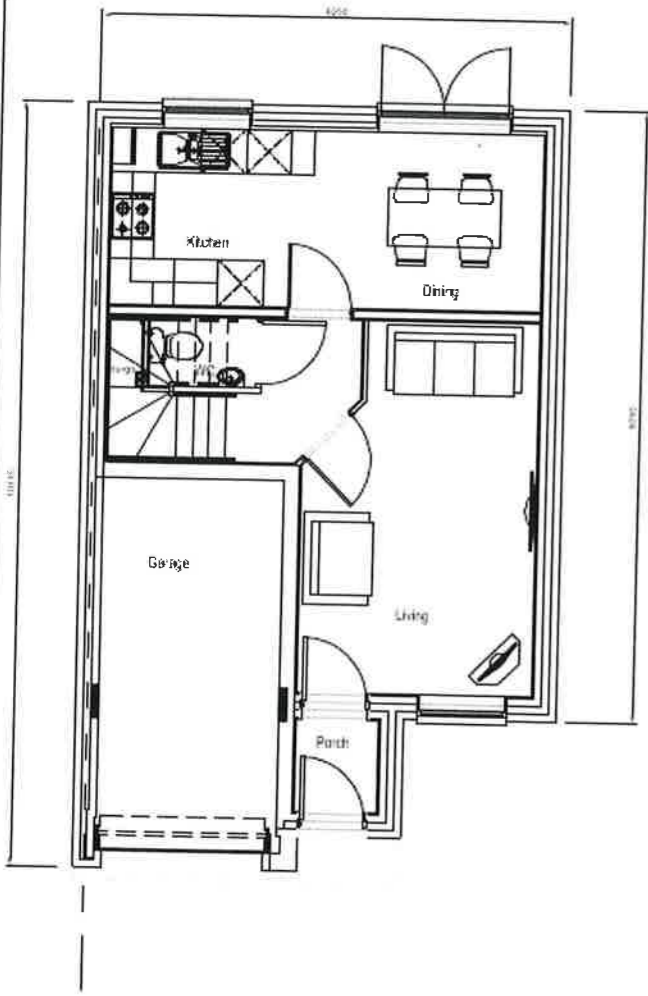
Side Elevation



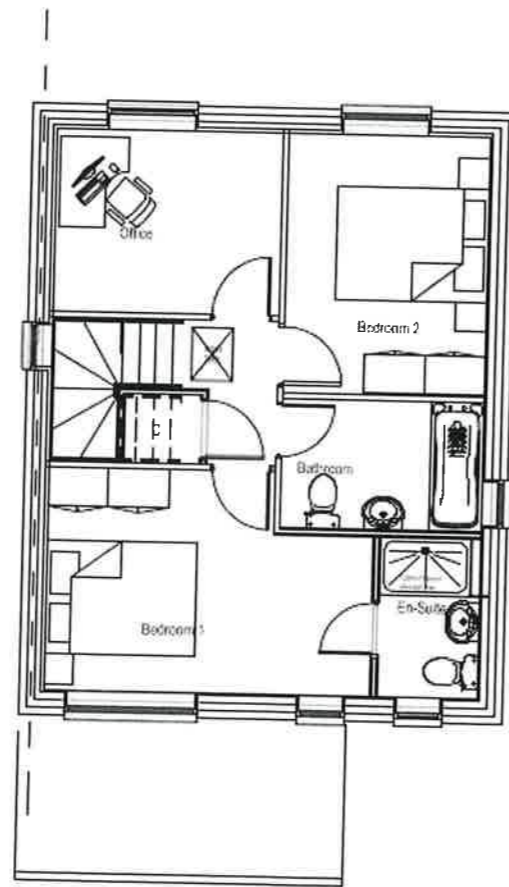
Rear Elevation



Side Elevation



Ground Floor Plan



First Floor Plan

PERSIMMON
HOMES



870sqft	
Rufford (Contemp)	210413
RF-WD17	50@A1 100@A3

Plans & Elevations (Planning)

	Rev: T



FRONT ELEVATION

SIDE ELEVATION

REAR ELEVATION



GF PLAN



1F PLAN

- 1. Roof material to be traditional flat profile tile
- 2. Bargeboard clipped on verge to gable
- 3. Clipped eaves
- 4. Grey casement windows
- 5. Black UPVC rainwater goods
- 6. Brick or render facing treatment
- 7. Village door style

Note: Openings positioned within cavity - 100mm reveal depth.

B: Drawing revised following client comments, email dated 03.03.15
 A: Drawing revised following client comments, email dated 17.02.15
 Amendments

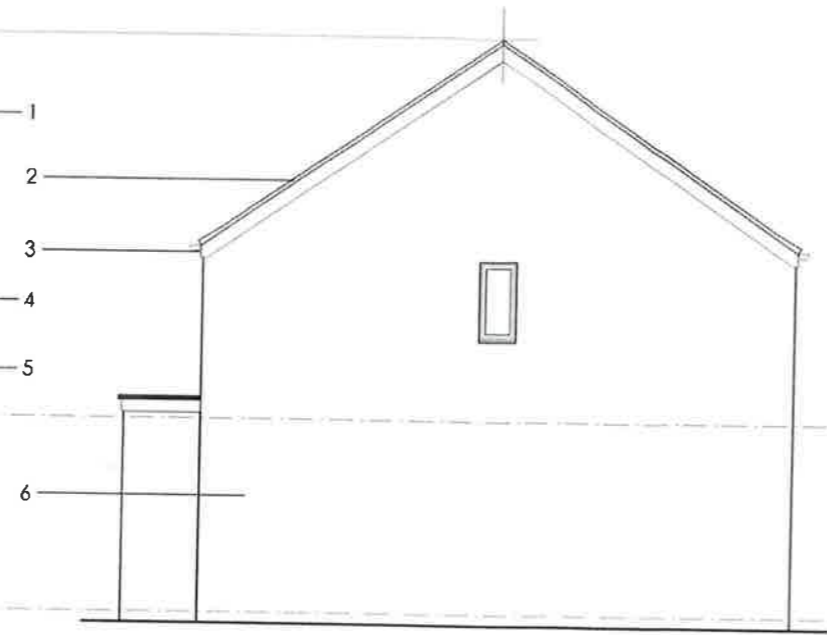
JL 04.03.15
 TF 24.02.15
 By Dofe

Persimmon - **HANBURY** 761 sqft

Job No/Drawing No 13120/6003 B	Job Title Phase 1: S1 Edeyrns, Cardiff	Persimmon Homes East Wales <small>Persimmon House Llantrisant Business Park, Llantrisant, Rhondda Cynon Taf, CF72 8YP Tel: 01493 222 5350</small>
Scale 1:100 @ A3	Date 10/2014	
Drawn TF	Drawing Title Hanbury	 <small>mad Design Ltd · The Tobacco Factory · Raleigh Road · Bristol BS3 1TF · Tel 0117 9530059 · www.mad-design.com</small>



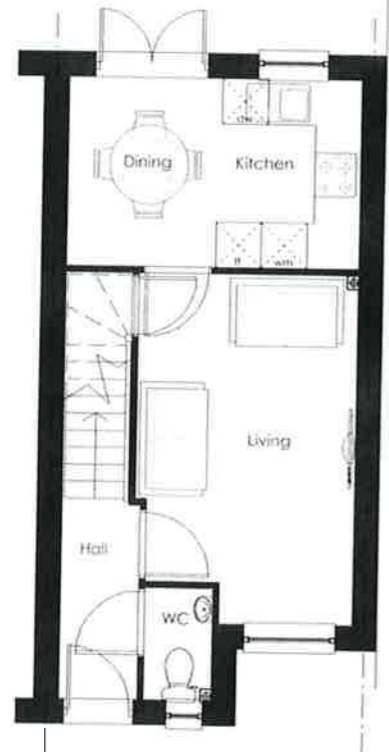
FRONT ELEVATION



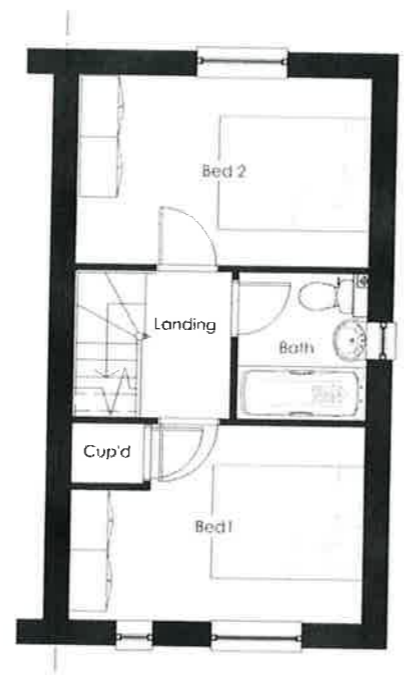
SIDE ELEVATION



REAR ELEVATION



GF PLAN



1F PLAN

19/01753

1. Roof material to be traditional flat profile tile
2. Bargeboard clipped on verge to gable
3. Clipped eaves
4. Grey casement windows
5. Black UPVC rainwater goods
6. Brick or render facing treatment
7. Village door style

Note: Openings positioned within cavity - 100mm reveal depth.

B: Drawing revised following client comments, email dated 03.03.15
 A: Drawing revised following client comments, email dated 17.02.15
 Amendments

JL 04.03.15
 TF 24.02.15
 By Date

Persimmon - **ALNWICK** 638 sqft

Job No/Drawing No 13120/6002 B	Job Title Phase 1: St Edeyrns, Cardiff	 <p>Persimmon Homes East Wales Persimmon House Llanrhant Business Park, Llanrhant, Rhydola Cymon Telf., CF72 8YF Tel 0143 220 3300</p>
Scale 1:100 A3	Date 10/2014 TF	
Drawing Title Alnwick		
All Dimensions to be checked on site		
Card Design Ltd - The Tobacco Factory - Raleigh Road - Bristol BS3 1TF - Tel: 0117 9530059 - www.card-design.com		





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LOCAL MEMBER OBJECTION, AM OBJECTION, PETITION

COMMITTEE DATE: 14/08/2019

APPLICATION No. **19/01370/MNR** APPLICATION DATE: 13/05/2019ED: **LLANISHEN**

APP: TYPE: Full Planning Permission

APPLICANT: MCDONALD'S RESTAURANTS LTD
LOCATION: FORMER THE TY GLAS, 75 TY GLAS AVENUE, LLANISHEN, CARDIFF, CF14 5DX

PROPOSAL: RECONFIGURATION OF THE WIDER SITE INCLUDING PARKING AND PATIO LAYOUT, INSTALLATION OF WRAP AROUND DRIVE-THRU LANE AND THE INCLUSION OF A BACK OF HOUSE CORRAL STORAGE AREA AND ASSOCIATED WORKS TO THE SITE. INSTALLATION OF 2NO COD (CUSTOMER ORDER DISPLAYS) AND GOAL POST HEIGHT RESTRICTOR. ALTERATIONS TO THE ELEVATIONS INCLUDING NEW ENTRANCE DOOR AND DRIVE-THRU BOOTHS, NEW PLANT EQUIPMENT TO THE ROOF

RECOMMENDATION 1: That, subject to relevant parties entering into a binding legal agreement with the Council under the provisions of SECTION **106** of the Town and Country Planning Act 1990, in respect of matters detailed in paragraph 8.5 of this report, planning permission be **GRANTED** subject to the following conditions:

1. The development permitted shall be commenced before the expiration of five years from the date of this planning permission.
Reason: In accordance with the provisions of Sec. 91(1)(b) of the Town and Country Planning Act 1990.
2. The development shall be carried out in accordance with the following approved plans and details unless otherwise expressly required by the ensuing Conditions:
 - 7763-SA-8061-P004 G – Site Layout Plan as Proposed
 - 7763-SA-8061-P005 D – Elevations and Sections as Proposed
 - 7763-SA-8061-P006 E – Ground Floor, First Floor & Roof Plan
 - Tree Survey, Arboricultural Impact Assessment, Arboricultural Method Statement & Tree Protection Plan by Haydens Arboricultural Consultants dated 9th May 2019
 - V15985-MCD_L01 Rev. D – Proposed Landscape Plan
 - V15985_D01 Rev. A – Tree Planting Detail
 - 7424-D-AIA – Prelim AIA

- 4190332-1200 Rev. I3 – Proposed Levels
- 4190332-1300 Rev. I4 – Proposed Finishes
- MD4190332/KLJ/002 – Drainage Statement (NB8061) dated 4th July 2019
- 001_01 Rev. F – Chargepoint Express 250 (with Bollards)
- 001_08-02 Rev. D – RMC 1600 – With Roots
- 8368/PM1001 – HVAC Planning Drawing
- Goal Post Height Restrictor and COD/Canopy received on the 4th June 2019

Reason: To ensure satisfactory completion of the development and for the avoidance of doubt in line with the aims of Planning Policy Wales to promote an efficient planning system

3. Notwithstanding the submitted landscaping details, a finalised landscaping scheme shall be submitted for the approval of the Local Planning Authority which shall include planting plans, tree pit sections and specifications and which shall be informed by an assessment of site soils (undertaken in accordance with Cardiff Councils Soils and Development Technical Guidance Note) to ensure that soil characteristics, profiles and volumes will support the planting types proposed. Thereafter the development shall be undertaken in accordance with the approved details and the approved landscaping shall be provided within the first month of the first planting season following beneficial use of the development hereby approved.

Reason: In the interests of the public amenity of the area, mitigating the effects of climate change and enhancing natural heritage in accordance with Policies KP5, KP15, KP16 and EN8 of the Cardiff Local Development Plan 2006-2026.

4. Any newly planted trees, plants or hedgerows, which within a period of 5 years from the completion of the development die, are removed, become seriously damaged or diseased, or in the opinion of the Local Planning Authority (LPA) otherwise defective, shall be replaced.

Replacement planting shall take place during the first available planting season, to the same specification approved in discharge of condition 3, unless the Local Planning Authority gives written consent to any variation.

Reason: To maintain and improve the amenity and environmental value of the area in accordance with Policies KP5, KP15, KP16 and EN8 of the Cardiff Local Development Plan 2006-2026.

5. In the event that contamination is found at any time when carrying out the approved development that was not previously identified it must be reported in writing within 2 days to the Local Planning Authority, all associated works must stop, and no further development shall take place unless otherwise agreed in writing until a scheme to deal with the contamination found has been approved. An investigation and risk assessment must be undertaken and where remediation is necessary a remediation scheme and verification plan must be prepared and

submitted to and approved in writing by the Local Planning Authority. Following completion of measures identified in the approved remediation scheme a verification report must be submitted to and approved in writing by the Local Planning Authority. The timescale for the above actions shall be agreed with the LPA within 2 weeks of the discovery of any unsuspected contamination.

Reason: To ensure that any unacceptable risks from land contamination to the future users of the land , neighbouring land, controlled waters, property and ecological systems are minimised, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors in accordance with policy EN13 of the Cardiff Local Development Plan.

6. Any aggregate (other than virgin quarry stone) or recycled aggregate material to be imported shall be assessed for chemical or other potential contaminants in accordance with a scheme of investigation which shall be submitted to and approved in writing by the Local Planning Authority in advance of its importation. Only material approved by the Local Planning Authority shall be imported. All measures specified in the approved scheme shall be undertaken in accordance with the relevant Code of Practice and Guidance Notes. Subject to approval of the above, sampling of the material received at the development site to verify that the imported material is free from contamination shall be undertaken in accordance with a scheme and timescale to be agreed in writing by the LPA.

Reason: To ensure that the safety of future occupiers is not prejudiced in accordance with policy EN13 of the Cardiff Local Development Plan.

7. Members of the public shall not be permitted to consume food and drink upon or be seated within the patio areas directly adjoining the north and west elevations of the building (as annotated with 'Keyblok paving - Patio' upon dwg. no. 7763-SA-8061-P004 G) between the hours of 23:30 and 09:00 on any day.

Reason: To ensure the use of the patio does not prejudice the amenities of the area in accordance with Policy KP5 of the Cardiff Local Development Plan.

RECOMMENDATION 2: To protect the amenities of occupiers of other premises in the vicinity attention is drawn to the provisions of Section 60 of the Control of Pollution Act 1974 in relation to the control of noise from demolition and construction activities. Further to this the applicant is advised that no noise audible outside the site boundary adjacent to the curtilage of residential property shall be created by construction activities in respect of the implementation of this consent outside the hours of 0800-1800 hours Mondays to Fridays and 0800 - 1300 hours on Saturdays or at any time on Sunday or public holidays.

RECOMMENDATION 3: The contamination assessments and the affects of unstable land are considered on the basis of the best information available to

the Planning Authority and are not necessarily exhaustive. The Authority takes due diligence when assessing these impacts, however you are minded that the responsibility for:

- i determining the extent and effects of such constraints;
- ii ensuring that any imported materials (including, topsoils, subsoils, aggregates and recycled or manufactured aggregates/ soils) are chemically suitable for the proposed end use. Under no circumstances should controlled waste be imported. It is an offence under Section 33 of the Environmental Protection Act 1990 to deposit controlled waste on a site which does not benefit from an appropriate waste management licence. The following must not be imported to a development site;
 - Unprocessed / unsorted demolition wastes.
 - Any materials originating from a site confirmed as being contaminated or potentially contaminated by chemical or radioactive substances.
 - Japanese Knotweed stems, leaves and rhizome infested soils. In addition to section 33 above, it is also an offence under the Wildlife and Countryside Act 1981 to spread this invasive weed; and
- iii the safe development and secure occupancy of the site rests with the developer.

Proposals for areas of possible land instability should take due account of the physical and chemical constraints and may include action on land reclamation or other remedial action to enable beneficial use of unstable land.

The Local Planning Authority has determined the application on the basis of the information available to it, but this does not mean that the land can be considered free from contamination.

RECOMMENDATION 4: The developer be advised to contact Wales and West Utilities prior to commencement of development.

RECOMMENDATION 5: On the 7th January 2019 Schedule 3 of the Flood and Water Management Act 2010 was enacted. This effects all new developments where the construction area is of 100m² or more. Cardiff Council is aware that your application for planning permission was validated after the recent legislative change in which Schedule 3 of the Flood and Water Management Act was enacted and therefore may be subject to surface water drainage proposals under the SAB application process.

It is recommended that the developer engage in consultation with the Cardiff Council SAB team, as the determining SuDS Approval Body (SAB), in relation to their proposals for SuDS features. Cardiff Council are aware that this is new legislation and as such we are offering a free pre-application service for the first year. To arrange discussion regarding this please contact

SAB@cardiff.gov.uk

In the meantime if you require further information please review our website: <https://www.cardiff.gov.uk/ENG/resident/planning-and-suds/suds-approval-body/>

Or, alternatively you can review the legislation set by Welsh Government here:

<https://gweddill.gov.wales/topics/environmentcountryside/epq/flooding/drainage/>

RECOMMENDATION 6: Welsh Water advise that:

No surface water and/or land drainage shall be allowed to connect directly or indirectly with the public sewerage network to prevent hydraulic overloading of the public sewerage system, to protect the health and safety of existing residents and ensure no pollution of or detriment to the environment.

The applicant may need to apply to Dwr Cymru / Welsh Water for any connection to the public sewer under S106 of the Water Industry Act 1991. If the connection to the public sewer network is either via a lateral drain (i.e. a drain which extends beyond the connecting property boundary) or via a new sewer (i.e. serves more than one property), it is now a mandatory requirement to first enter into a Section 104 Adoption Agreement (Water Industry Act 1991). The design of the sewers and lateral drains must also conform to the Welsh Ministers Standards for Gravity Foul Sewers and Lateral Drains, and conform with the publication "Sewers for Adoption"- 7th Edition. Further information can be obtained via the Developer Services pages of www.dwrcymru.com

The applicant is also advised that some public sewers and lateral drains may not be recorded on our maps of public sewers because they were originally privately owned and were transferred into public ownership by nature of the Water Industry (Schemes for Adoption of Private Sewers) Regulations 2011. Under the Water Industry Act 1991 Dwr Cymru Welsh Water has rights of access to its apparatus at all times.

Our response is based on the information provided by your application. Should the proposal alter during the course of the application process we kindly request that we are re-consulted and reserve the right to make new representation.

If you have any queries please contact the undersigned on 0800 917 2652 or via email at developer.services@dwrcymru.com

1. DESCRIPTION OF THE SITE AND AREA

- 1.1 The application site comprises of an existing restaurant premises. The site benefits from planning permission, granted in the late 1980's, allowing for the use as a 'Public House/Restaurant' (Class A3). The original planning permission includes no restrictions upon use or operating hours and,

therefore, the premises can be utilised for the purpose of *'the sale of food or drink for consumption on the premises or of hot food for consumption off the premises'* 24 hours per day. Restrictions upon the use of a subsequent patio area beyond 23:30 hours remains extant.

- 1.2 The site is located on Ty Glas Avenue, Llanishen, Cardiff a busy thoroughfare and main traffic route within this part of the city. The site is located on the periphery of a business/industrial park and the immediate neighbours are of a commercial nature, including offices, a leisure centre and warehouses. Recently a development of apartments has been introduced opposite the site and an estate of dwellinghouses is in excess of 50m from the boundary of the application site. The premises have recently been occupied by the Harvester brand as a restaurant with bar facilities.
- 1.3 The building is located in the north west corner of the site with its principal elevation facing north fronting Ty Glas Avenue. A considerable car park lies to the east and south of the buildings and a small patio area lies in front of the principal elevation. The building is of a traditional form with brick elevations and tiled gable roofs, gable fronted porticos provide the principal features of the building. The site curtilage is largely bounded by mature planting of significant amenity value.

2. DESCRIPTION OF PROPOSED DEVELOPMENT

- 2.1 Planning permission is sought for alterations to the building and site principally to provide a 'drive-thru' which would circulate around the west side of the building from the south to north. To the south west corner of the site two 'customer order displays' measuring 3m in height with a canopy measuring 3.5m x 2.4m would be provided. To the entrance of the 'drive-thru' a steel post and beam height restrictor would be provided at marginally over 3m in height.
- 2.2 To the rear elevation, off the south west corner, of the building a storage area enclosed by an Anthracite Grey panel of 2.8m in height would be provided.
- 2.3 Alterations to the layout and access of the car park are necessary to provide the proposed 'drive-thru' in addition to alterations to the west elevation of the building provide service windows.
- 2.4 A number of miscellaneous alterations are also proposed including a new entrance doors, new finishes to elevations, a patio area and associated fittings, new enclosures, electric charging points and plant.

3. PLANNING HISTORY OF RELEVANCE

Application No : 89/01306/N
Proposal : PUB/RESTAURANT
Application Type: FUL
Decision : PER
Decision Date : 12/09/1989

Application No : 89/02461/N

Proposal : PUBLIC HOUSE/RESTAURANT AND CAR PARKS (3105
m.sq.)
Application Type: FUL
Decision : PER
Decision Date : 09/01/1990

Application No : A/90/00136/N
Proposal : VARIOUS BREWERY SIGNAGE
Application Type: ADV
Decision : PER
Decision Date : 16/11/1990

Application No : 00/01632/N
Proposal : THE FORMATION OF A GARDEN AREA TO THE
EXISTING FRONTAGE OF THE TY GLAS PUBLIC HOUSE
Application Type: FUL
Decision : PER
Decision Date : 18/10/2000

Application No : 01/00145/N
Proposal : REMOVAL OF CONDITION 8 OF PLANNING APPROVAL
89/2461 DATED 9TH JANUARY 1990
Application Type: REM
Decision : PER
Decision Date : 15/03/2001

Application No : 01/00811/N
Proposal : FORMATION OF NEW PATIO TO EXISTING PUBLIC
HOUSE
Application Type: FUL
Decision : PER
Decision Date : 08/06/2001

Application No : A/01/00089/N
Proposal : BREWERY SIGNAGE
Application Type: ADV
Decision : PER
Decision Date : 12/06/2001

Application No : A/03/00172/N
Proposal : NEW BREWERY SIGNAGE
Application Type: ADV
Decision : PER
Decision Date : 12/09/2003

Application No : 07/01955/E
Proposal : EXTENSION OF EXTERNAL DRINKING AREA AND 2 NO.
TIMBER FRAME GAZEBOS ON PATIO AND
RELOCATION OF 2 NO. JUMBERELLAS
Application Type: FUL
Decision : PER
Decision Date : 10/10/2007

Application No : A/15/00055/MNR
Proposal : 2 NO INTERNALLY ILLUMINATED POST SIGNS 2 NO INTERNALLY ILLUMINATED SETS OF LETTERS 2 NO INTERNALLY ILLUMINATED DISPLAY CASES 2 NO NON ILLUMINATED SETS OF LETTERS

Application Type: ADV
Decision : PER
Decision Date : 21/05/2015

Application No : 15/01034/MNR
Proposal : VARIATION OF CONDITION 3 OF 01/00811/N TO ALLOW USE OF THE PATIO FROM 0900 UNTIL 2330 HOURS

Application Type: VAR
Decision : PER
Decision Date : 17/06/2015

Application No : A/19/00057/MNR
Proposal : INSTALLATION OF 4 NO. FASCIA SIGNS
Application Type: ADV
Decision : UNDECIDED

Application No : A/19/00058/MNR
Proposal : THE INSTALLATION OF 1 NO. FREESTANDING 6M TOTEM SIGN.

Application Type: ADV
Decision : UNDECIDED

Application No : A/19/00059/MNR
Proposal : INSTALLATION OF SITE SIGNAGE INCLUDING; 4 NO. FREESTANDING SIGNS, 1 NO. BANNER SIGN AND 18 NO. DOT SIGNS.

Application Type: ADV
Decision : UNDECIDED

4. POLICY FRAMEWORK

4.1 National Planning Policy

- Planning Policy Wales (10th Ed, 2018)
- Technical Advice Note 5: Nature Conservation and Planning (2009)
- Technical Advice Note 11: Noise (1997)
- Technical Advice Note 12: Design (2016)
- Technical Advice Note 15: Development and Flood Risk (2004)
- Technical Advice Note 18: Transport (2007)
- Technical Advice Note 20: Planning and the Welsh Language (2017)
- Technical Advice Note 23: Economic Development (2014)

4.2 Cardiff Local Development Plan 2006-2026

- Policy KP1 (Level of Growth)
- Policy KP3(B) (Settlement Boundaries)
- Policy KP5 (Good Quality and Sustainable Design)
- Policy KP6 (New Infrastructure)
- Policy KP7 (Planning Obligations)

- Policy KP8 (Sustainable Transport)
- Policy KP19 (Responding to Evidenced Economic Needs)
- Policy KP13 (Responding to Evidenced Social Needs)
- Policy KP14 (Healthy Living)
- Policy KP15 (Climate Change)
- Policy KP16 (Green Infrastructure)
- Policy KP18 (Natural Resources)
- Policy EN6 (Ecological Networks and Feature of Importance for Biodiversity)
- Policy EN7 (Priority Habitats and Species)
- Policy EN8 (Trees, Woodlands and Hedgerows)
- Policy EN10 (Water Sensitive Design)
- Policy EN13 (Air, Noise, Light Pollution and Land Contamination)
- Policy EN14 (Flood Risk)
- Policy T1 (Walking and Cycling)
- Policy T5 (Managing Transport Impacts)
- Policy T6 (Impact on Transport Networks and Services)
- Policy R8 (Food and Drink Uses)
- Policy C3 (Community Safety/Creating Safe Environments)
- Policy C6 (Health)
- Policy W2 (Provision for Waste Management Facilities in Development)

4.3 Supplementary Planning Guidance

- Food, Drink and Leisure Uses (November 2017)
- Green Infrastructure (November 2017)
- Infill Sites (November 2017)
- Managing Transportation Impacts (July 2018)
- Planning for Health and Wellbeing (November 2017)
- Planning Obligations (January 2017)
- Waste Collection and Storage (October 2016)

5. **INTERNAL CONSULTEE RESPONSES**

5.1 The Operational Manager (Flood & Coastal Risk Management) raised initial concerns in respect of insufficient detail being provided in respect of flood risk or surface water proposals. Subsequently a drainage scheme was submitted and no objections have been raised to this submitted scheme. The comments noted that the proposal may be subject to SAB approval controlling water management and an advisory note is recommended in this regard.

5.2 The Operational Manager (Traffic and Transportation) raises no objection to the proposal, subject to S106 contributions and conditions. It is advised that a traffic survey and junction assessment has been undertaken and the data, which has been agreed, indicates that whilst the proposal will result in additional traffic movements this would not result in any significant operational problems beyond the base situation. It is recommended that a zebra crossing between Llanishen Leisure Centre and the site access road be provided to increase pedestrian safety and slow traffic. Contributions are also sought, in

the interest of pedestrian safety, for improvements to the access road junction with Ty Glas Avenue. The car park proposes 42 spaces, with additional two reserve bays, which is within the maximum standards and predications, based on similar stores, suggest a maximum parking accumulation of 30 whilst during peak times this may be exceeded it is not considered that such demand beyond the site car park would result in safety concerns. Space for the storage of cycles are proposed which will be beneficial in encouraging cycle travel to store.

- 5.3 The Operational Manager (Waste Management) raises no objection to the proposal subject to a financial contribution of £1,880 being made to provide bins four litterbins within the locality.
- 5.4 The Operational Manger (Shared Regulatory Services – Noise & Air Pollution) has been consulted, no representations have been received.
- 5.5 The Operational Manger (Shared Regulatory Services – Environment Team) raises no objection to the proposal, however, conditions are recommended in respect of unforeseen contamination and imported materials. Advisory notes in relation to contamination and unstable land are also recommended.
- 5.6 The Council's Planner (Trees and Landscaping) advises that subject to the development being carried out in full accordance with the details submitted no harm is likely to result to trees of amenity value and subject to conditions the proposed landscaping of the site would be satisfactory.

6. EXTERNAL CONSULTEE RESPONSES

- 6.1 Welsh Water advise that no surface water and/or land drainage shall be allowed to connect to the public sewerage network.
- 6.2 South Wales Police have no objection to the application. It is advised the car parking area is likely to see higher levels of vehicle and pedestrian activity so for safety, security and management a number of recommendations in respect of lighting, litter, vision splays, pedestrian crossings, cycle parking, security and CCTV are provided.
- 6.3 Wales and West utilities rise no objections to the proposal. It is advised that a copy of their plans and general conditions are available for the developer's reference.

7. REPRESENTATIONS

- 7.1 The application was advertised by way of neighbour consultation letters and site notices. A significant number of representations both supporting and objecting to the proposal have been received.
- 7.2 Three petitions, of 59, 51 and 15 signatories, have been received objecting to the proposal. The concerns expressed relate to health and wellbeing of the community, increased traffic, increased litter, anti-social behaviour and impact upon residential amenity.

7.3 Letters of representation, objecting to the proposal, have been received from parties of the following addresses:

- 12, 15, 16, 18, 20, 22, 23, 31, 32, 33, 34, 36 & 3 x no number provided Llys Faith, Llanishen
- 8, 12, 63 Ty Glas Avenue, Llanishen
- 63, 91, 114, 130, 136 & 149 Ty Glas Road, Llanishen
- 39 & 79 Coed Glas Road, Llanishen
- 102, 122, 137, 145, 148, 154, 160, 170, 174, 183, 186, 188, 221, 233, 251, 253, 257, 263, 265, 269, 273, 281, 283, & 1 x no number provided Fishguard Road, Llanishen
- 132, 134 & 178 Fidlas Road, Llanishen
- 8 & 11 Tasker Square, Llanishen
- 1 & 27 Newborough Avenue, Llanishen
- Headteacher of Coed Glas Primary School
- 5 Gaerwen Close, Llanishen
- 78 Ashbourn Way, Llanishen
- 44 South Rise, Llanishen
- 45 Station Road, Llanishen
- 23 Trecastle Avenue, Llanishen
- 30, 36 & 44 Crundale Crescent, Llanishen
- 3 & 41 Wavell Close, Llanishen
- 26, 29, 33, 35 St Dogmaels Avenue, Llanishen
- 9, 11, 26 & 60 Kimberley Terrace, Llanishen
- 12 Cwrt Glas, Llanishen
- 10 Mostyn Square, Llanishen
- 149 Tatham Road, Llanishen
- 26 Crystal Glen, Llanishen
- 5 St Martins Crescent, Llanishen
- 10 Elan Road, Llanishen
- 19 Bluehouse Road, Llanishen
- 21 Llys Pegasus, Llanishen
- 32 Cherrywood Close, Thornhill
- 7 Sable Close, Lisvane
- 18 Cefn Onn Meadows, Lisvane
- 5 Ridgeway, Lisvane
- 9 Ilfracombe Crescent, Llanrumney
- 9 Clos Y Fran, Thornhill
- 10 Cheriton Drive, Thornhill
- 28 Guenever Close, Thornhill
- 42 Heol Hendre, Rhiwbina
- 20A Lakeside Drive
- 2 Skomer Court, Grangetown
- 5 Glynne Street, Riverside
- 10 Osprey Close, St Mellons
- 45 Mountbatten Road, Barry

- Several parties have supplied no address

A summary of the objections are detailed below:

- Adverse impact upon the health and well-being of community, particularly children given proximity to schools and leisure centre;
- increase in traffic disruption/delays and adverse impact upon highway safety;
- detrimental impact upon amenity of the area and neighbouring occupiers (i.e. litter, noise, odour, anti-social behaviour, air pollution etc)
- proposals are contrary to the character of the area;
- concerns with regards impact upon local businesses;
- the adverse impact upon climate change goals;
- added pressure on water drainage systems;
- devaluation of property.

7.4 Letters of representation, supporting the proposal, have been received from parties of the following addresses:

- 23 & 50 Fishguard Road, Llanishen
- 7 Llangefni Place, Llanishen
- 44a Heol Llanishen Fach, Llanishen
- 2 Trecastle Avenue, Llanishen
- 92 Heol Hir, Llanishen
- 13 Portfield Crescent, Llanishen
- 30 White Barn Road, Llanishen
- 25 St Dogmaels Avenue, Llanishen
- 8 Crundale Crescent, Llanishen
- 21 Spring Grove, Thornhill
- 22 Tristram Close, Thornhill
- 40 Angelica Way, Thornhill
- 57 Oakridge, Thornhill
- 7 Woodlawn Way, Thornhill
- 19 Pen Y Cefn, Thornhill
- 19 Plas Y Delyn, Lisvane
- 82 Heathway, Heath
- A Thornhill resident

A summary of the reasons for support are:

- benefits to the local economy;
- jobs will be created within the area;
- community cohesion will be enhanced.

7.5 Local Ward Member Cllr Phil Bale expresses the following concerns with regards to the proposal:

- there are limited litter bins within the area and a long history of serious litter

problems within the area. The limited outdoor seating will encourage off-site consumption leading to a substantial increase in litter;

- there is an enhanced risk of anti-social behaviour within the area;
- the proximity to schools given recent research should be considered;
- an increase in traffic will result and there are already serious issues within the area including parking problems, traffic congestion, lack of crossing points for pedestrians;
- the proposal is contrary to the Council's bilingual strategy;
- the impact of 24 hour opening needs to be considered;
- the applicant has not provided a retail impact assessment to determine if the proposal would harm businesses in Llanishen Village;
- that current pedestrian routes are not safe;
- In the event that planning permission is approved contributions towards cycle parking, on-street parking, school safety zone, community facilities, a pedestrian crossing and a bus shelter are requested.

7.6 Julie Morgan AM raises concerns with regards to the proximity of the premises to schools and the resultant wellbeing of the pupils, whether the premises would create traffic problems, that the 24 hour opening would be incompatible within the area and that litter problems would result.

8. ANALYSIS

8.1 Introduction

8.1.1 The application site lies within the defined settlement boundary within an area of mixed use and the principle of the use of the premises for the provision of food and drink for consumption on or off the premises is established and lawful. It must, therefore, be recognised that the principle of the use is not a matter for consideration the existing premises may be utilised by any party for the provision of food and drink without substantial restriction, including upon opening hours, and to attempt to control this existing lawful use is beyond the scope of the application.

8.1.2 Accordingly, the principle of the proposed development is considered to be acceptable and the matters for consideration are the effect of the proposed alterations to the building and site, as detailed within the application, upon:

- the character of the area;
- the amenities of the area and neighbouring occupiers;
- the transport network.

8.2 Impact Upon the Character of the Area

8.2.1 Policy KP5 requires that all new development should respond '*to the local character and context of the built and landscape setting so that layout, scale, form, massing, height, density, colour, materials, detailing and impact on the built and natural heritage are all addressed within development proposals*'.

- 8.2.2 The immediate area benefits from a range of different buildings in terms of scale, age and design including commercial, leisure and residential buildings. The alterations proposed to the existing building are of a minor nature and complement its original design.
- 8.2.3 The alterations and provisions to be made within the site are reflective of what would be reasonably expected within the curtilage of the existing commercial building and of the wider area.
- 8.2.4 The existing mature vegetation will be predominately retained with enhancements where necessary to facilitate the works and the site will retain the existing benefits to visual amenity of this infrastructure that has previously existed.
- 8.2.5 Accordingly it is considered that the proposal has due regard to the context of the area and would complement its character, and, therefore, accords with the principles of Policy KP5 of the Cardiff Local Development plan.

8.3 Impact Upon the Amenity of Neighbouring Occupiers and the Area

- 8.3.1 Policy KP5 seeks to ensure that *'no undue effect on the amenity of neighbouring occupiers'* results from development.
- 8.3.2 Given the existing context, as detailed at para. 1.1 and 8.1.1, it is considered that the proposals have limited potential to impact upon the amenity of the area and neighbouring occupiers. Many of the potential amenity considerations that have been raised during the processing of the application are intrinsic of concerns raised during applications for change of use to such premises, however, the use of the premises is not material to the consideration of this application. The proposed alterations to the site and building are as a matter of fact and degree minor in nature and would not in use terms be materially different to how the existing site could and may be operated.
- 8.3.3 The proposed 'drive thru' does add a different element to the existing use whereby visitors can purchase food without leaving their cars. This element, however, may in reality have no greater or perhaps a lesser effect than a premises serving take away food where visitors would be required to enter the premises as greater disturbance could result. The 'drive-thru' element is located to the western boundary of the site and is not directly opposite any residential property and, therefore, the relative movement of vehicles within and around the site would again not be fundamentally different than could and may be experienced from the premises within its current configuration.
- 8.3.4 Whilst it is accepted that premises of this nature can give rise to increased litter this is inherently the fault of users rather than the premises operator and again the use of the premises is not material to the consideration of this application. The proposal includes the provision of more than adequate number of litter bins within the site and the applicant has agreed to make contributions to providing litter bins within the immediate area.

- 8.3.5 A condition is recommended controlling the use of the patio areas similar to that imposed upon the existing premises to protect the amenity of neighbouring residents.
- 8.3.6 Accordingly it is considered that the proposal would not have any undue impact upon the general amenity of neighbouring occupiers or the area, and, therefore, accords with the principles of Policy KP5.

8.4 Transport Impact

- 8.4.1 Policy KP8 seeks to achieve a 50:50 modal split between journeys by car and other more sustainable means and, therefore, seeks to reduce reliance on the private car as a means of transport in favour of more sustainable methods. Policy T5, supports this key policy, by seeking to ensure *'that all new developments properly address the demand for travel and its impacts, contributes to reducing reliance on the private car and avoids unacceptable harm to safe and efficient operation of the road, public transport and other movement network and routes'*. Whilst Policy KP6 details that *'development will not be permitted which would cause unacceptable harm to the safe and efficient operation of the highway, public transport and other movement networks'*.
- 8.4.2 The proposal provides for adequate car parking facilities in accordance with current guidelines and is within the maximum considered acceptable to ensure that sustainable transport objectives are achieved.
- 8.4.3 Bicycle parking spaces are proposed within the curtilage to encourage the use and promote this sustainable mode of transport.
- 8.4.4 Assessments undertaken detail that whilst some increase in vehicle traffic will result that it would not be so substantial to impact upon the safe and efficient use of the highway. Improvements to the existing highway are to be secured, through financial contribution, for upgrading the existing access junction and providing a pedestrian crossing to negate any harm to highway safety through lowering speeds and improving pedestrian movement networks.
- 8.4.5 It should be noted that the assessments undertaken were based upon data which did not fully consider the existing lawful use the premises can be utilised for and, therefore, the net traffic impact resulting from the proposal could be less than even than that which has in any case been found acceptable.
- 8.4.6 Accordingly, it is considered, subject to conditions, that the proposal would have no adverse transport impact having a minimal impact upon the road network and accords with the principles of Policies KP8, T5 and T6.

8.5 Planning Obligations and Viability

- 8.5.1 National Policy and CIL regulations outline the legal requirements for a valid Planning obligation. Policy KP7 is also relevant and the Council's approved

Planning Obligations SPG provides further guidance.

8.5.2 With reference to the Community Infrastructure Levy tests and approved SPG, contributions of:

- £45,000 towards a raised table zebra crossing on Ty Glas Avenue adjacent to the leisure centre;
- £15,000 towards improvements to the access road and Ty Glas Avenue junction to include tactile crossings and reduction in carriage way width;
- £1,880 towards 4 litter bins within the locality;

In the interests of highway safety and the amenity of the area have been agreed to be paid by the applicant to negate concerns in this regard resulting from the proposal.

8.6 Other Matters

8.6.1 Policy EN10 and EN14 require water sensitive design solutions that do not increase risk of flooding elsewhere are incorporated within new developments. The proposal is supported by a drainage strategy that incorporates sustainable drainage techniques and details that there will not be increased risk of flooding elsewhere.

8.6.2 Policies KP15, KP16 and EN8 seek to ensure that green infrastructure is protected and the effects of climate change associated with such loss are mitigated. The principle of the proposed development in this regard is considered acceptable, however, some further detail is required to ensure that appropriate landscaping is provided. Conditions are recommended in this regard.

8.6.3 Notwithstanding that the premises benefits from an existing lawful use and that the use of the premises is not material to consideration of this application given the comments received in respect of the potential negative impacts of the proposal on the health of the local population and proximity to local schools it should be noted that current National and Local Planning Policy contain no specific policies in this regard.

8.6.4 Crime and Disorder Act 1998 - Section 17(1) of the Crime and Disorder Act 1998 imposes a duty on the Local Authority to exercise its various functions with due regard to the likely effect of the exercise of those functions on, and the need to do all that it reasonably can to prevent crime and disorder in its area. This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable increase in crime and disorder as a result of the proposed decision.

8.6.5 Equality Act 2010 - The Equality Act 2010 identifies a number of 'protected characteristics', namely age; disability; gender reassignment; pregnancy and maternity; race; religion or belief; sex; sexual orientation; marriage and civil partnership. The Councils duty under the above Act has been given due consideration in the determination of this application. It is considered that the

proposed development does not have any significant implications for, or effect on, persons who share a protected characteristic.

- 8.6.6 Well-Being of Future Generations Act 2016 - Section 3 of this Act imposes a duty on public bodies to carry out sustainable development in accordance with the sustainable development principle to act in a manner which seeks to ensure that the needs of the present are met without compromising the ability of future generations to meet their own needs (Section 5). This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable impact on the achievement of wellbeing objectives as a result of the recommended decision.
- 8.6.7 Environment (Wales) Act 2016 – The Environment (Wales) Act 2016 imposes a duty on the Local Authority to seek to maintain and enhance biodiversity in the proper exercise of its functions and in doing so to promote the resilience of ecosystems. It is considered that the proposed development does not have any significant implications for, or effect on, biodiversity.
- 8.6.8 Flood and Water Management Act 2010 – Section 12 (3) of the Flood and Water Management Act 2010 places a duty on risk management authorities (e.g. a county council for the area) to have regard to the national and local strategies and guidance when exercising any other function in a manner which may affect a flood risk or coastal erosion risk. The relevant strategies and guidance have been taken into consideration in the determination of this application.
- 8.6.9 It should be noted that the value of property is not a material planning consideration.

8.7 **Conclusion**

- 8.7.1 Having regard to the policy context above, the proposal is considered acceptable and it is recommended, subject to S106 obligations and conditions, that planning permission be granted.

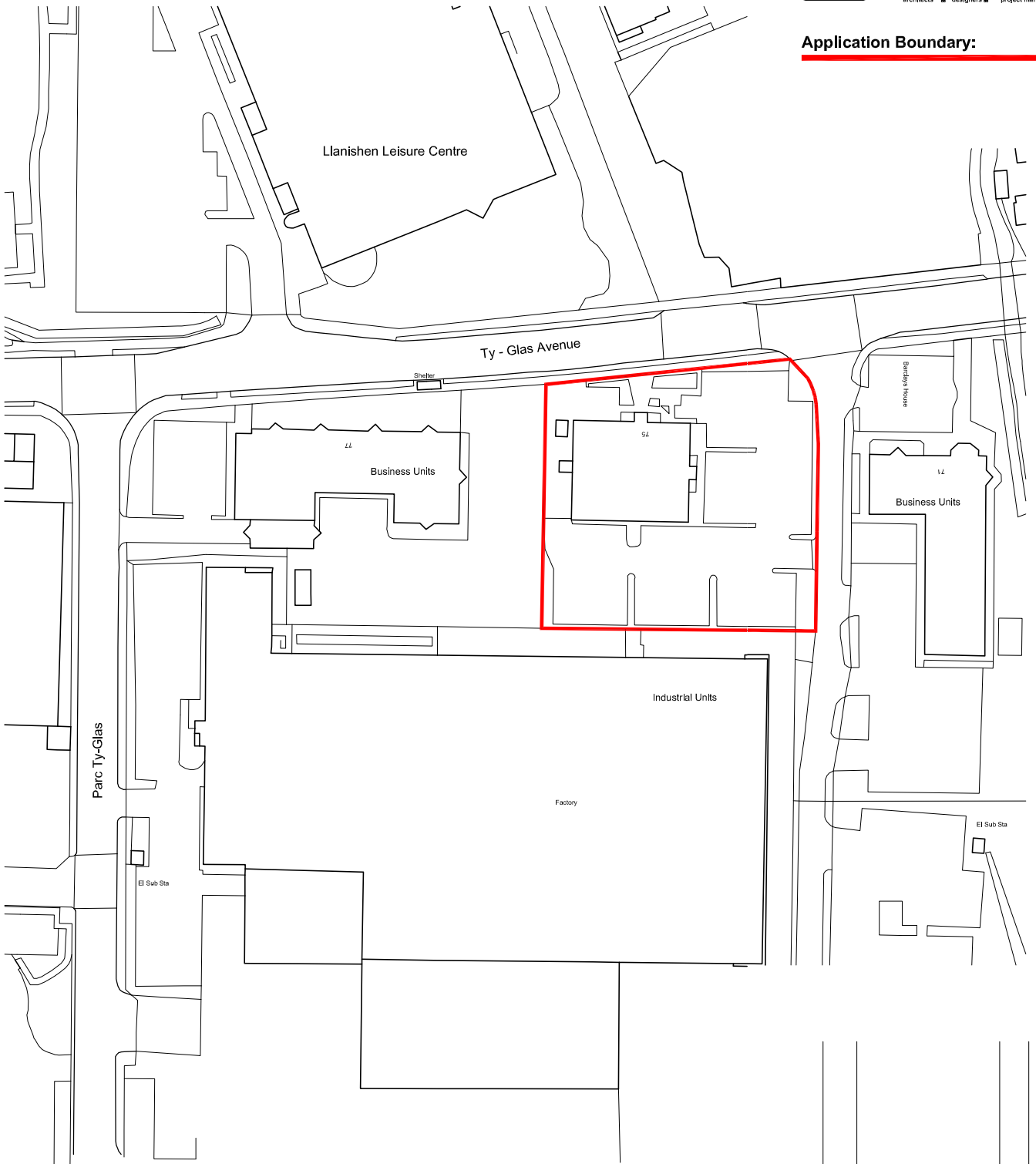


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Application Boundary:



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REV.	DATE.	PLANNING ISSUE	DRAWING REVISIONS.	BY.	CHECKED
A	26.04.19	PLANNING ISSUE		EV	-

GENERAL NOTES:
 All works are to be undertaken in accordance with the Building Regulations and the latest British Standards.
 All proprietary materials and products are to be used strictly in accordance with the manufacturer's recommendations.
 All dimensions to be checked on site prior to construction.
 All risks assessed to comply with the designer's responsibility under the Construction (Design Management) Regulations 2015.

PROPOSED DEVELOPMENT AT
 Harvester, Ty Glas Avenue
 CARDIFF CF14 5DX

STORE No :-
 NB8061

ON BEHALF OF :-
 McDonald's Restaurants Ltd

DRAWING TITLE :-
 Site Location Plan

DRAWN BY: EV
 CHECKED BY: [Blank]
 DRAWING No.: 7763-SA-8061-AL01 A
 SCALE & SIZE: 1:1250@A4
 DATE: April 2019

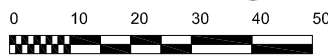
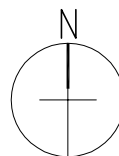


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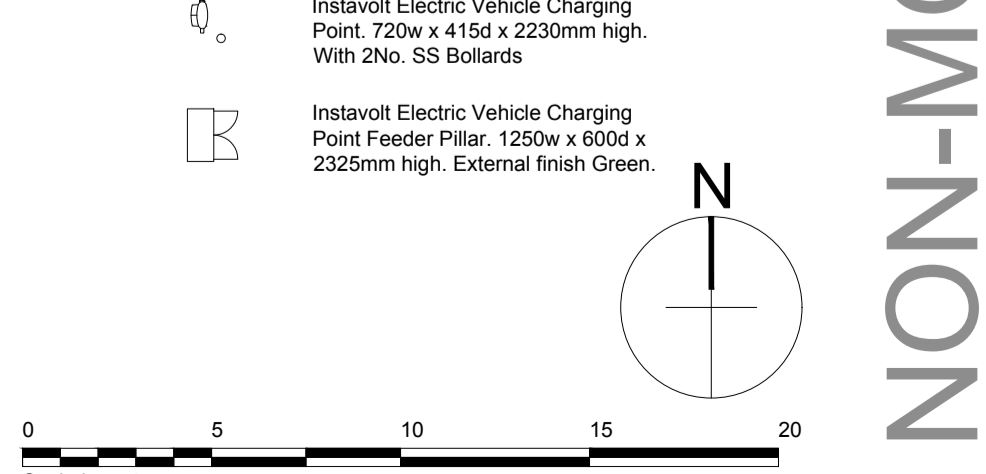
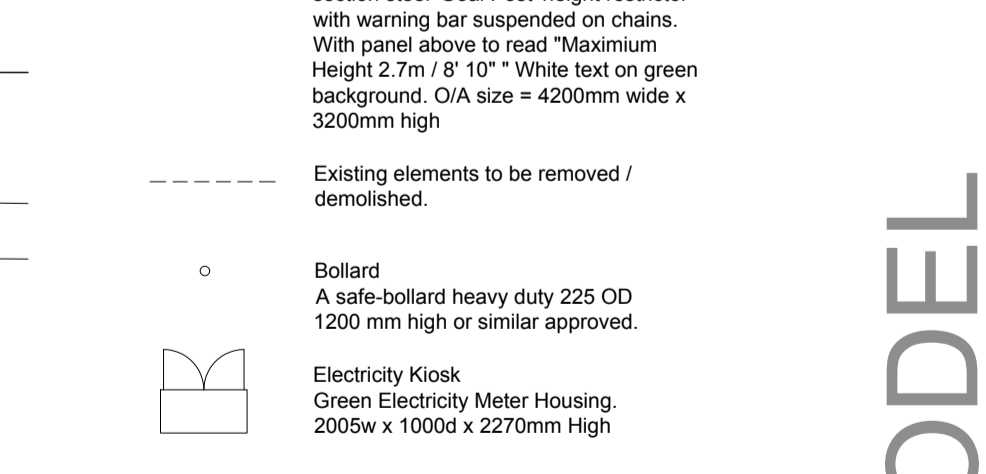
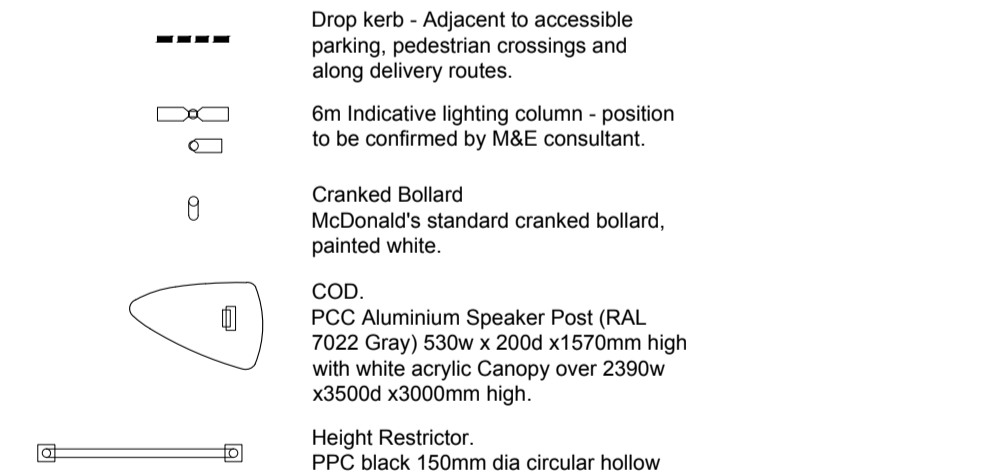
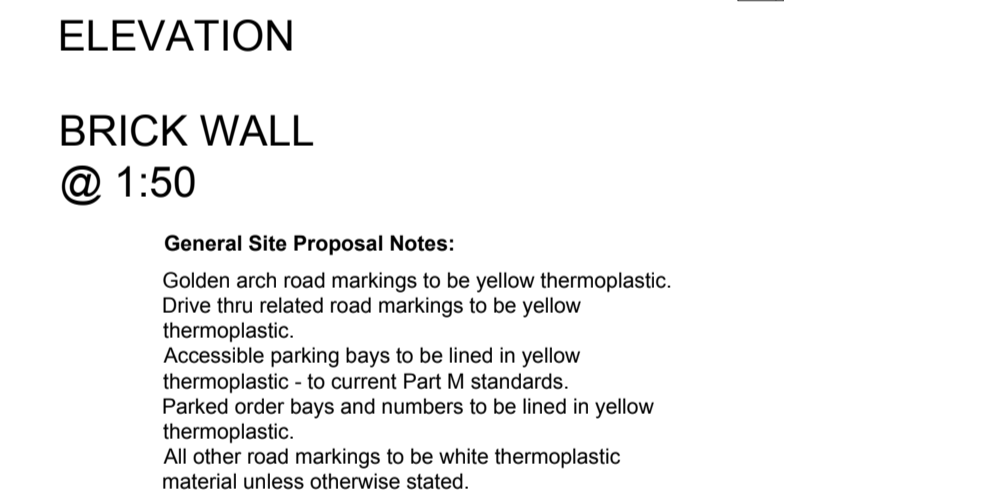
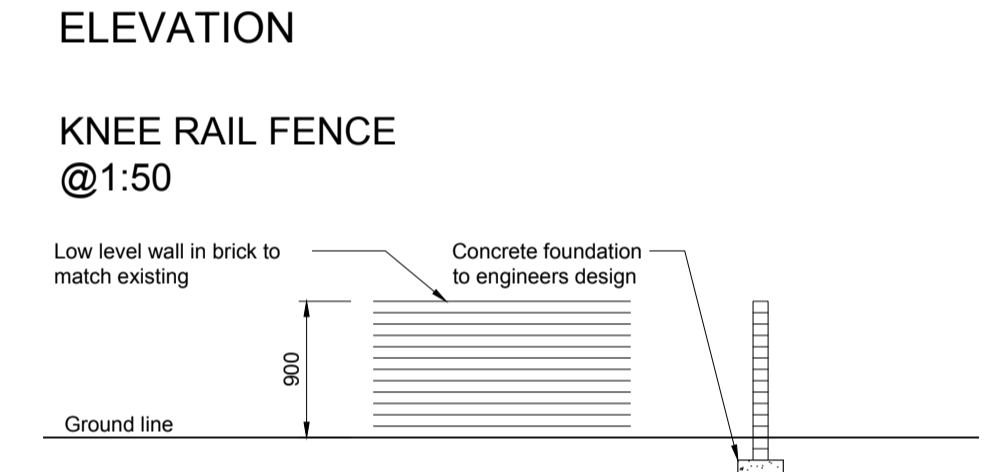
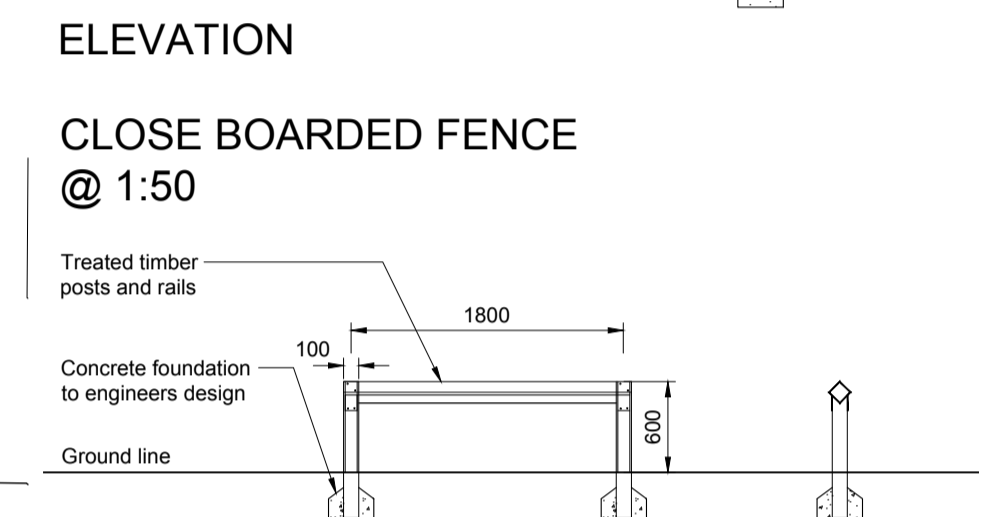
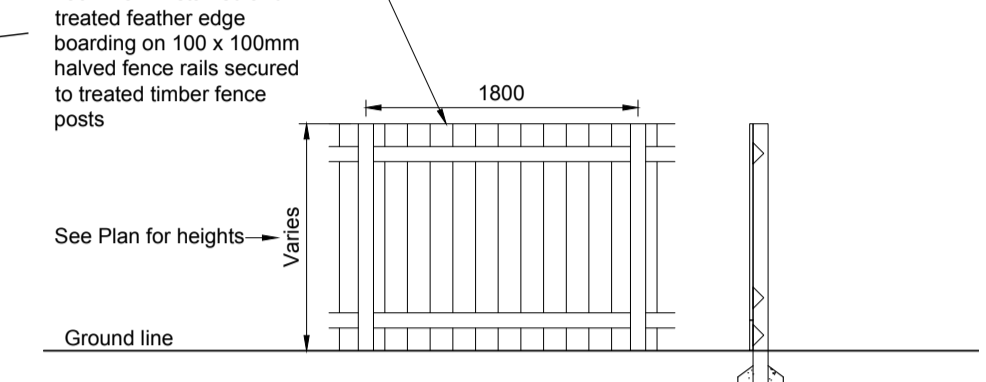
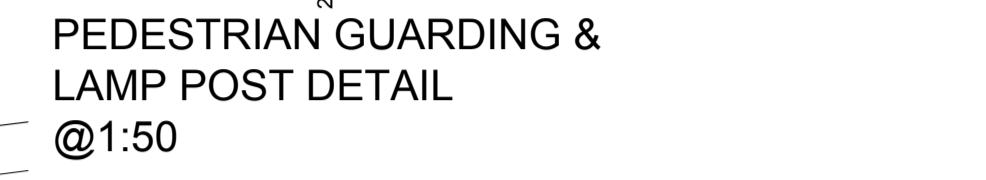
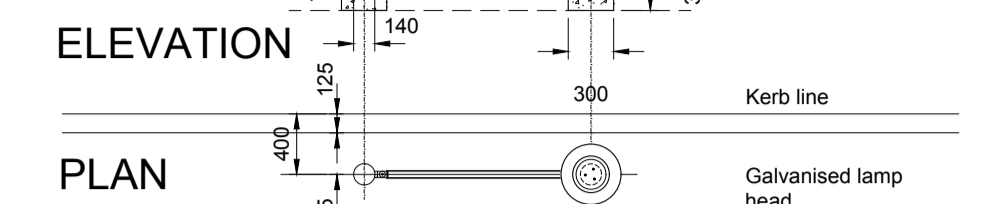
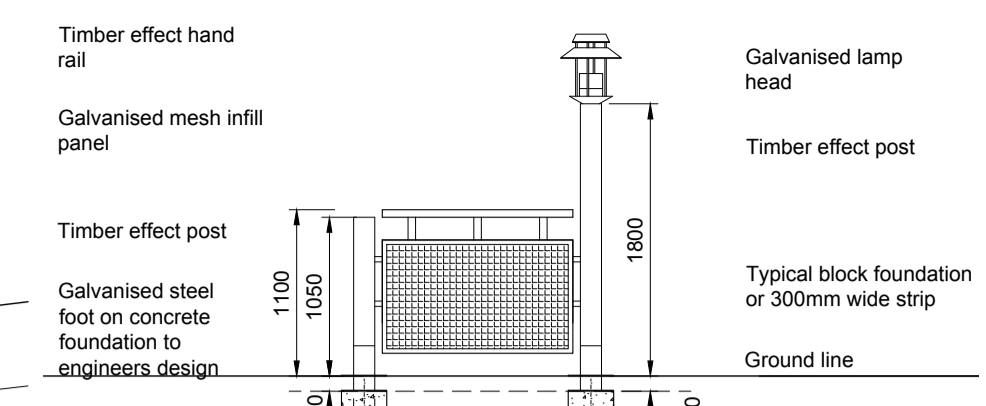
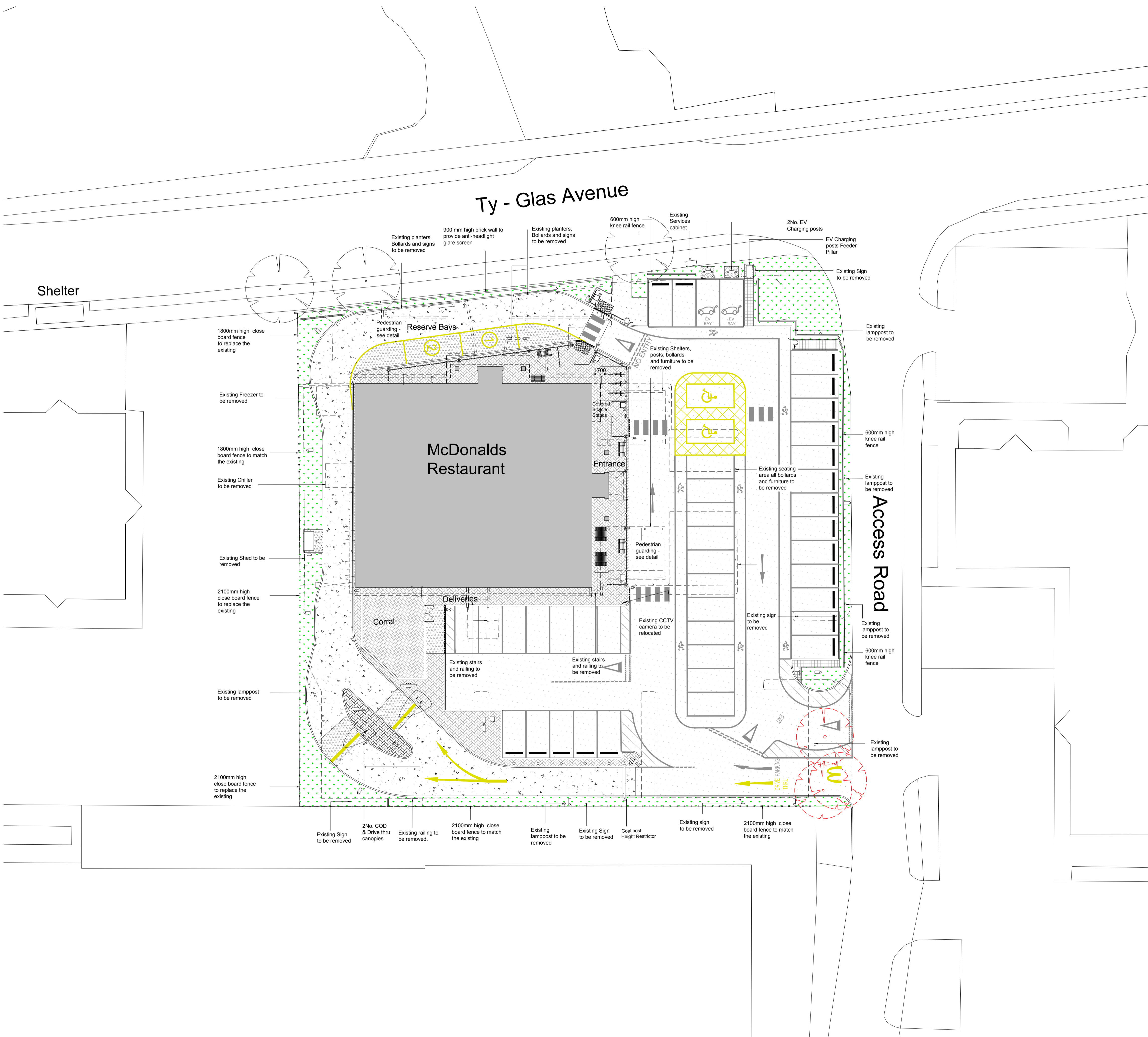


architects ■ designers ■ project managers

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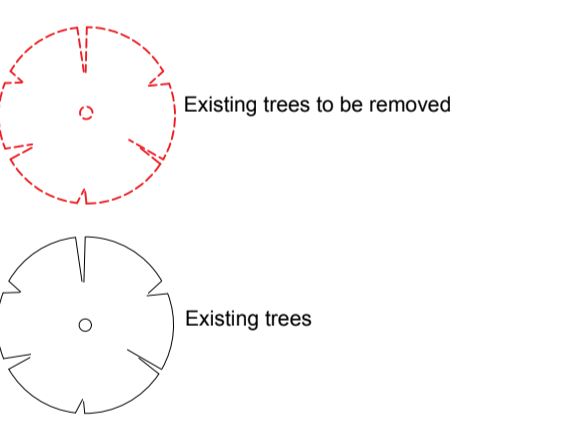
Scale in metres.



Notes:
All drawings to be read in conjunction with all other drawings as noted on issue sheet.

- Proposed Site Finishes:**
- Tarmacadam - Car park and footpaths as indicated.
 - Charcoal imprinted concrete - Drive thru lane.
 - Marshalls 200 x 100mm Charcoal Keyblock paving - Patio
 - Charcoal brushed concrete - delivery route.
 - Soft landscaping - see landscape architect drawing for details.
 - Marshalls 300 x 300mm Charcoal Metropolitan paving.
 - Brushed concrete - Corral.
 - Tactile blister paving.

- External Fixtures & Fittings:**
- Aubrilm - Range Euroline 3 Mix 2015 Electrogalvanised steel structure. PPC-RAL 7022. Table legs made of extruded aluminium. PPC-RAL 7022. Table seats & plate in 12mm HPL panel with 12mm beech plywood HPL veneer.
 - Coffee table, single chair, bench, round table, and 2 seat table must be fixed to the ground.
 - 4 Seat Rectangular Table.
 - One Armrest Bench (left or right).
 - Coffee Table.
 - Single Chair.
 - 2 seats - Rectangular Table.
 - Dust Bin with "Tidy Man" Sticker.
 - Target Trash Bin
 - Combo Delta Large Aperture Litter Bin by Glasdon. 530mm x 470mm high x 1550mm high. Bin body & door: Black.
 - Ash Bin.
 - Cycle Stand
 - Stainless steel Sheffield cycle stands @ 1000mm centres. Cover over to be Apollo Junior Cycle shelter 3.6m long.
 - Pedestrian Guarding 1500mm or 600mm long x 1100mm high. Timber effect galvanised steel.
 - Wheel stop 1800mm heavy duty rubber parking stop



General Site Proposal Notes:
Golden arch road markings to be yellow thermoplastic.
Drive thru related road markings to be yellow thermoplastic.
Accessible parking bays to be lined in yellow thermoplastic - to current Part M standards.
Parked order bays and numbers to be lined in yellow thermoplastic.
All other road markings to be white thermoplastic material unless otherwise stated.

- Drop kerb - Adjacent to accessible parking, pedestrian crossings and along delivery routes.
- 6m Indicative lighting column - position to be confirmed by M&E consultant.
- Cranked Bollard McDonald's standard cranked bollard, painted white.
- COD. PCC Aluminium Speaker Post (RAL 7022 Gray) 530w x 200d x 1570mm high with white acrylic canopy over 2390w x 3500d x 3000mm high.
- Height Restrictor. PPC black 150mm dia circular hollow section steel 'Goal Post' height restrictor with warning bar suspended on chains. With panel above to read "Maximum Height 2.7m / 8' 10" White text on green background. O/A size = 4200mm wide x 3200mm high.
- Existing elements to be removed / demolished.
- Bollard A safe-bollard heavy duty 225 OD 1200 mm high or similar approved.
- Electricity Kiosk Green Electricity Meter Housing. 2005w x 1000d x 2270mm High
- Instavolt Electric Vehicle Charging Point. 720w x 415d x 2230mm high. With 2No. SS Bollards
- Instavolt Electric Vehicle Charging Point Feeder Pillar. 1250w x 600d x 2325mm high. External finish Green.

REV.	DATE	PLANNING ISSUE	DRAWING REVISIONS	BY	CHECKED
G	20.07.2019		Cycle stands amended and cover added	RJP	-
F	11.06.2019		EV Charging points indicated.	JK	-
E	14.06.2019		Headlight screen and car park layout updated.	NCC	-
D	29.05.2019		Drive toilet updated.	MR	-
C	28.05.2019		Corner seating area omitted.	MR	NCC
B	17.05.2019		Patio layout updated. Drive Thru kerb moved back. Knee Rail fence added.	JS	NCC
A	28.04.2019		PLANNING ISSUE	BV	-

GENERAL NOTES:
All works are to be undertaken in accordance with the Building Regulations and the latest British Standards.
All proprietary materials and products are to be used in accordance with the manufacturer's recommendations.
All dimensions to be checked on site prior to construction.
All risks assessed to comply with the designer's responsibility under the Construction (Design Management) Regulations 2015.

PROPOSED DEVELOPMENT AT
Harvester, Ty Glas Avenue
CARDIFF CF14 5DX

ON BEHALF OF -
McDonald's Restaurants Ltd
DRAWING TITLE -
Site Layout Plan
As Proposed

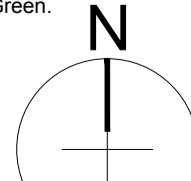
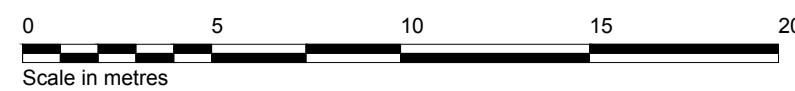
DESIGN BY
BV
SCALE & SIZE
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DATE
April 2019

DRAWING NO.
7763-SA-8061-P004 G



















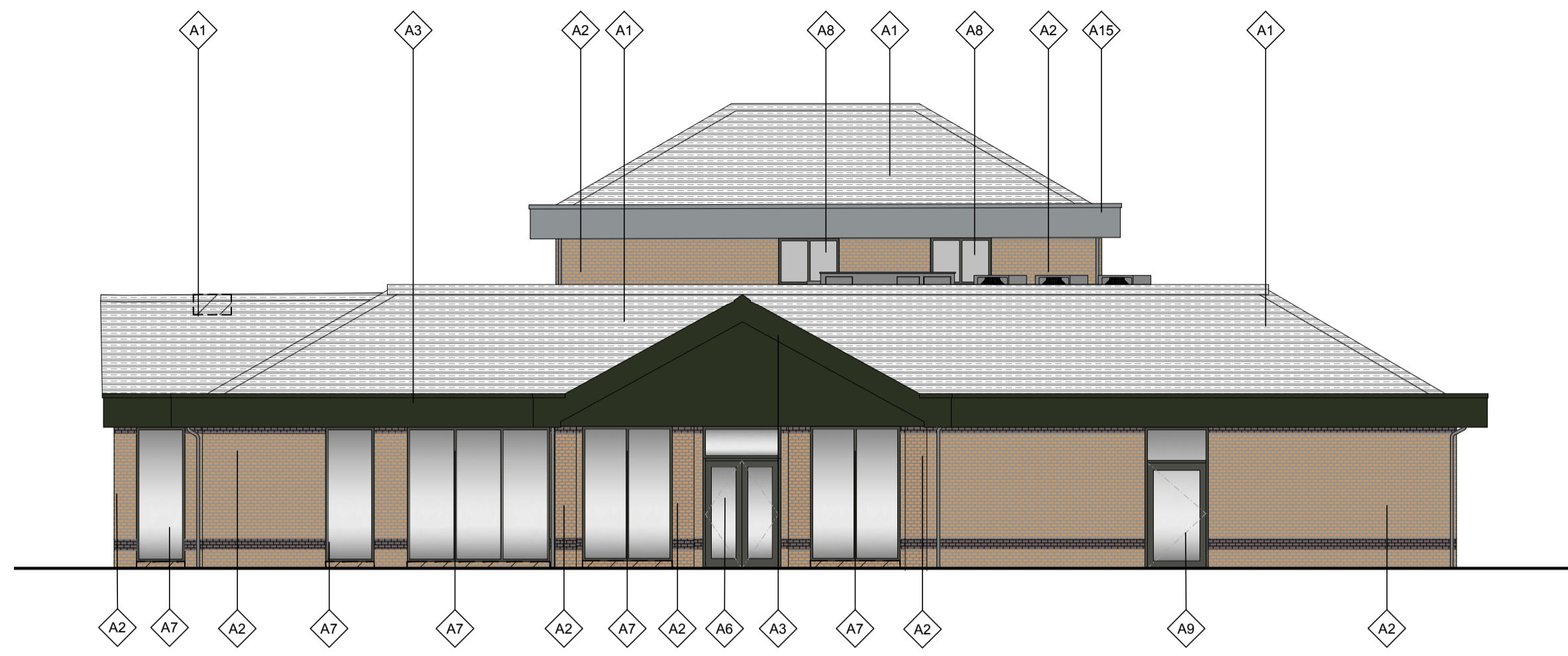
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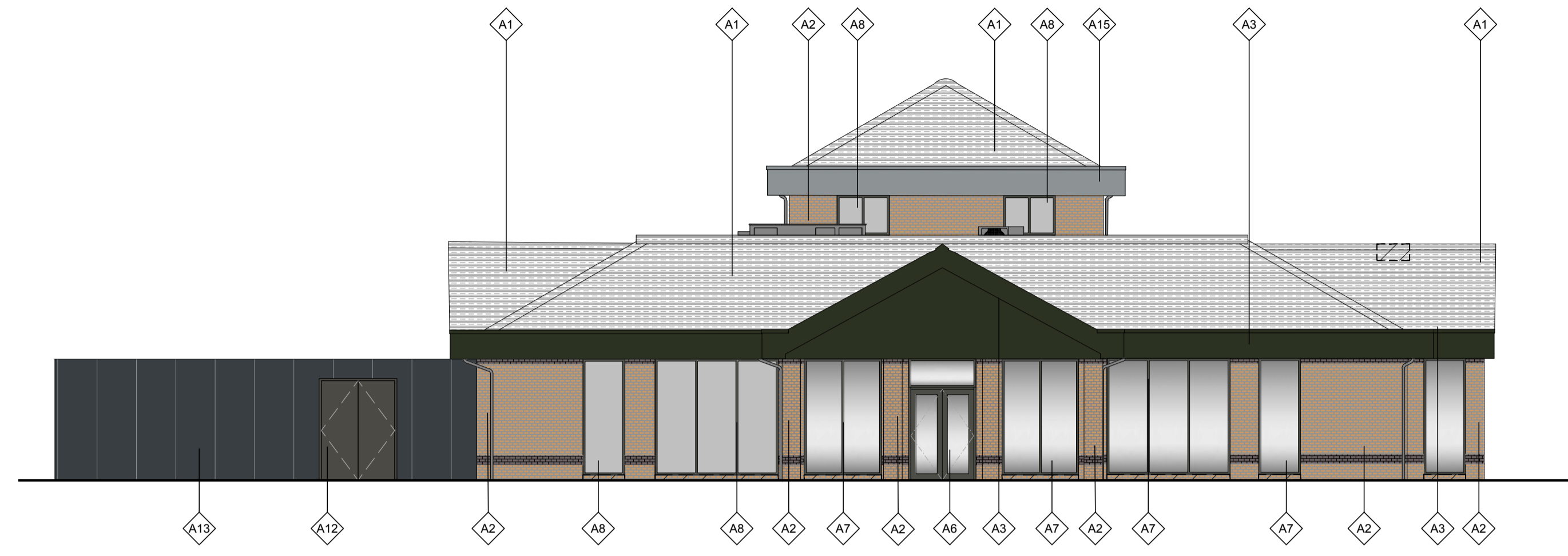
NON-MODEL

MATERIALS LEGEND

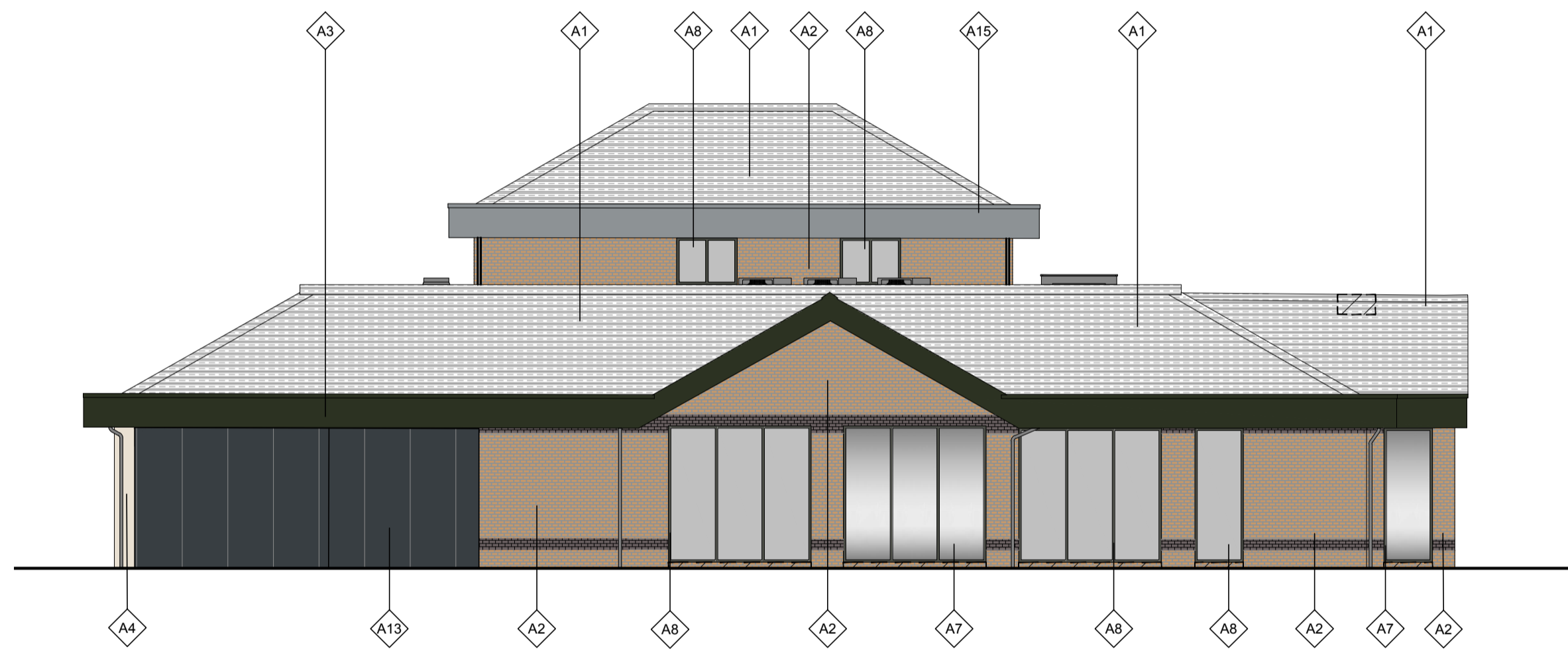
-  Existing Roof Tiles to be made good/replaced/cleaned where necessary
-  Existing Brickwork to be made good/replaced/cleaned where necessary
-  New Soffits and Fascias. Finished RAL 6007 Bottle Green. New down lighting to be installed in Soffits.
-  Render decorated white RAL 9001
-  Finish omitted
-  New Glazed Double Entrance door. PPC Frames RAL 7022 Umbra Grey
-  Existing Windows to be replaced with new. PPC Frames RAL 7022 Umbra Grey
-  Existing Windows to be replaced with new. PPC Frames RAL 7022 Umbra Grey. Frosted film.
-  New Glazed Swing Door. PPC Frames RAL 7022 Umbra Grey
-  New window decals. Letters RAL 9010. Backgrounds: "PAY" RAL 1023 "COLLECT" RAL 6018.
-  New Windows. PPC Frames RAL 7022 Umbra Grey
-  New Security Doors. Paint Frame and door leaf RAL 7022 Umbra Grey
-  Cladding Panel. 8mm Trespa Meteon panels. Colour: A25.8.1 Antracite Grey
-  Existing flashing to be made good/replaced/cleaned where necessary
-  Existing Soffits & Fascias to be made good/ replaced/ cleaned where necessary. Soffits to be painted grey to match Fascias.
-  Existing openings infilled to match existing where required



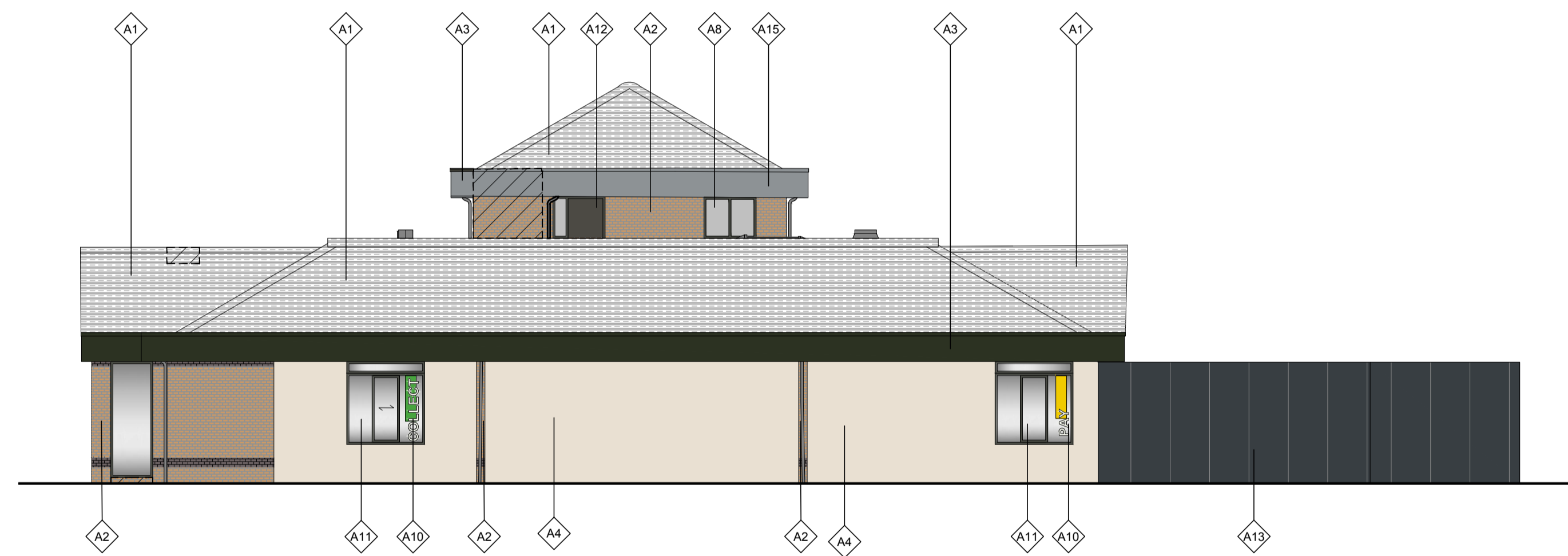
NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION

REV.	DATE	DESCRIPTION	BY	CHECKED
D	08.07.2019	New fascias and soffits to lower roof.	NCC	-
C	17.05.2019	Kitchen Windows omitted. Notes amended.	JS	NCC
B	29.04.2019	Existing clock towers removed. Annotations updated.	BV	-
A	29.04.2019	PLANNING ISSUE	BV	-

GENERAL NOTES:
 All works are to be undertaken in accordance with the Building Regulations and the latest British Standards.
 All proprietary materials and products are to be used strictly in accordance with the manufacturer's recommendations.
 All dimensions to be checked on site prior to construction.
 All risks assessed to comply with the designer's responsibility under the Construction (Design Management) Regulations 2015.

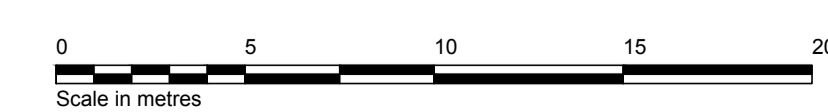
PROPOSED DEVELOPMENT AT
 Harvester, Ty Glas Avenue
 CARDIFF CF14 5DX

STORE No: -
 NB8061

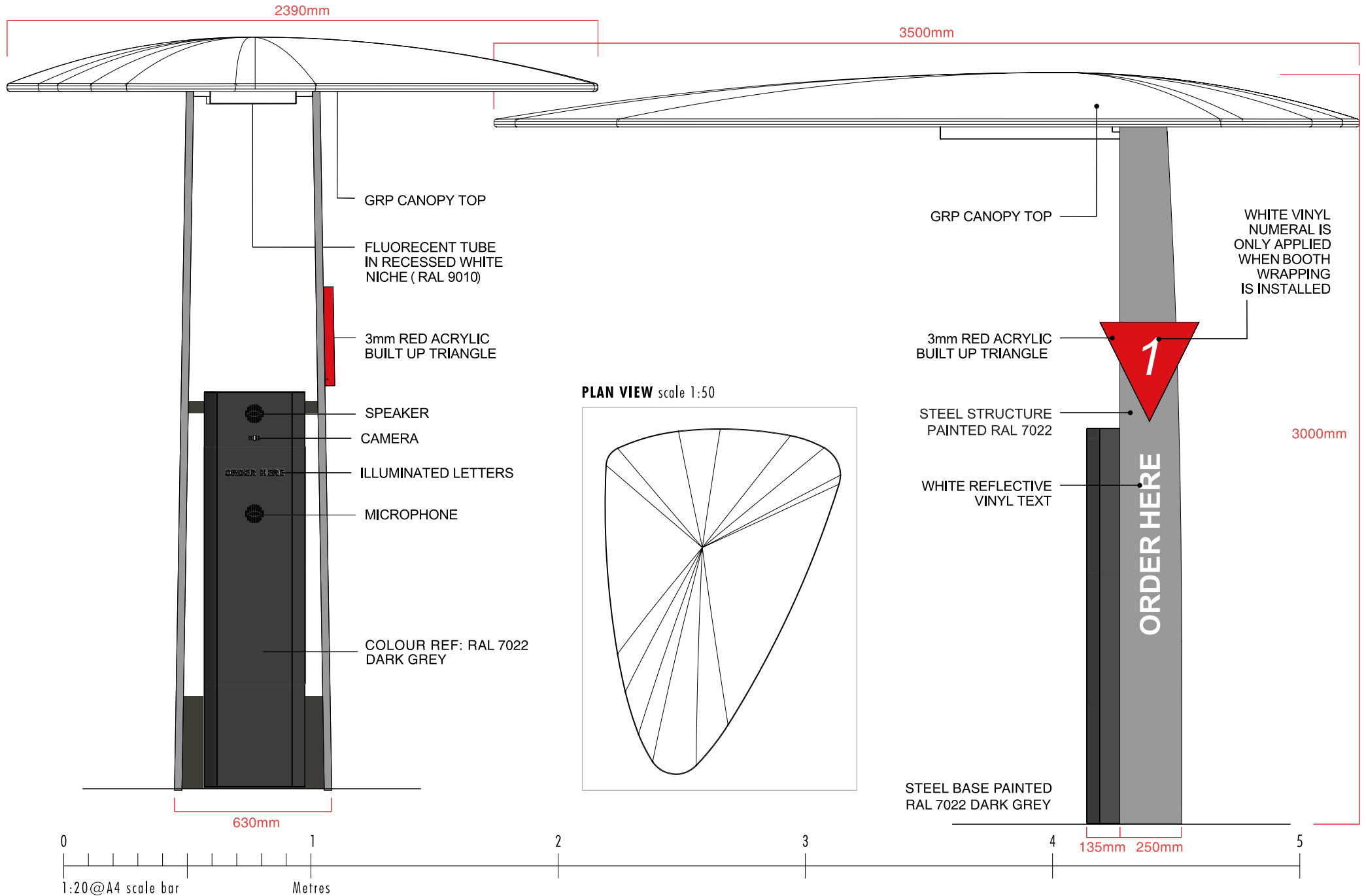
ON BEHALF OF :-
 McDonald's Restaurants Ltd

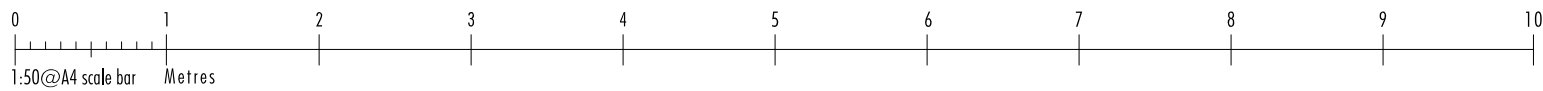
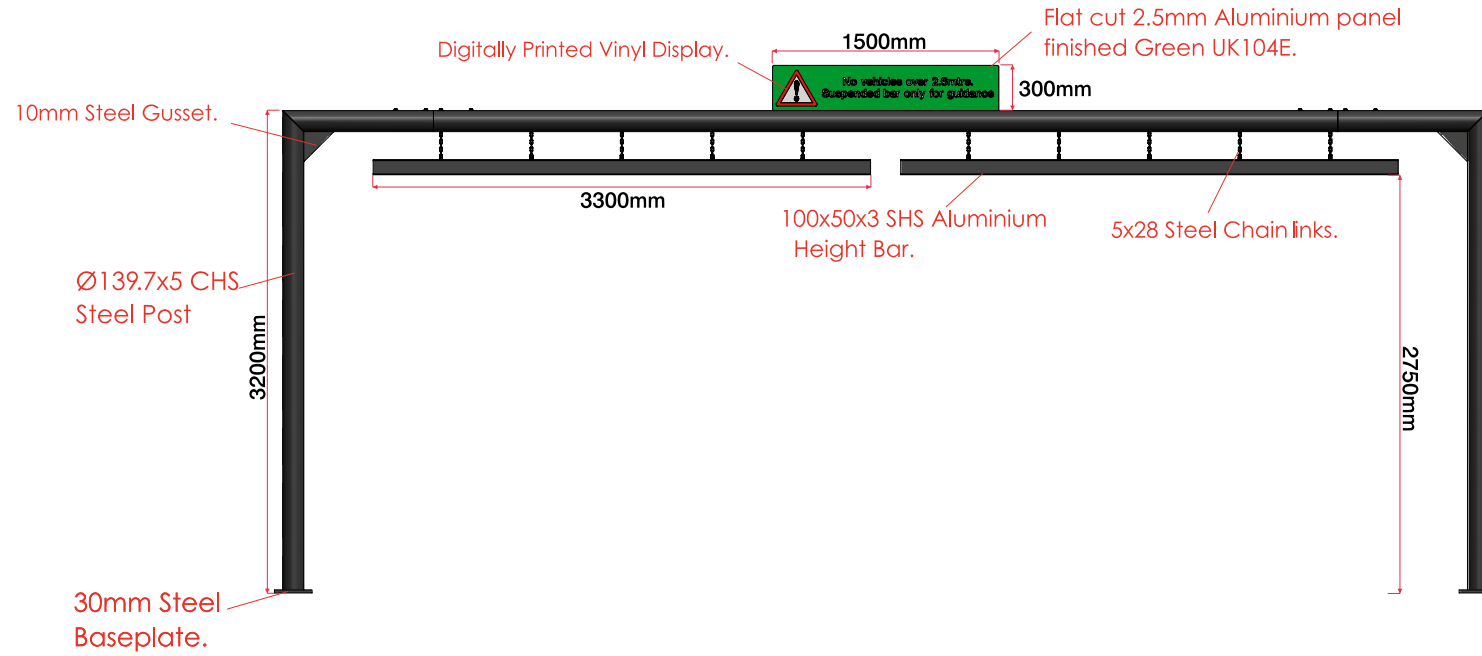
DRAWING TITLE :-
 Elevations & Section
 As Proposed

DRAWN BY: BV
 SCALE & SIZE: 1:100 @ A1
 CHECKED BY: [blank]
 DATE: April 2019
 DRAWING NO.: 7763-SA-8061-P005 D



NON-MODEL





LOCAL MEMBER OBJECTION, AM OBJECTION, PETITION

COMMITTEE DATE: 14/08/2019

APPLICATION No. **A/19/000057/MNR** APPLICATION DATE: 03/05/2019ED: **LLANISHEN**

APP: TYPE: ADVERTISEMENT CONSENT

APPLICANT: MCDONALD'S RESTAURANTS LTD
LOCATION: FORMER THE TY GLAS, 75 TY GLAS AVENUE, LLANISHEN,
CARDIFF, CF14 5DX
PROPOSAL: THE INSTALLATION OF 1 NO. FREESTANDING 6M TOTEM
SIGN.

RECOMMENDATION 1: That advertisement consent be **GRANTED**, subject to the following conditions:

1. C03 – Statutory Time Limit – Advertisements
2. The consent relates to the following approved plans:
 - McDonalds/002/2008 – Sign 5
 - McDonalds/132/2010 – Sign 19
 - 7763-SA-8061-P009 D – Signage Elevations

Reason: For the avoidance of doubt to the extent of the consent granted.

RECOMMENDATION 2: The applicant be advised that the use of the Welsh Language is encouraged where possible and consideration should be given to bilingual signage.

1. DESCRIPTION OF PROPOSED DEVELOPMENT

- 1.1 Advertisement consent is sought for the display of signage upon an existing commercial restaurant premises to which alterations are proposed.
- 1.2 The site is located on Ty Glas Avenue, Llanishen, Cardiff a busy thoroughfare and main traffic route within this part of the city. The site is located on the periphery of a business/industrial park and the immediate neighbours are of a commercial nature, including offices, a leisure centre and warehouses. Recently a development of apartments has been introduced opposite the site and an estate of dwellinghouses is in excess of 50m from the boundary of the application site. The premises have recently been occupied by the Harvester brand as a restaurant with bar facilities.

- 1.3 The proposed signage consists of a perspex logo sign measuring approx. 0.9m x 1m and lettering measuring approx.. 0.9m x 5.5m which will be internally illuminated to a level of 600cd/m² and located upon the gables of the porticos on the north and east elevations of the building.

2. **SITE HISTORY OF RELEVANCE**

Application No : 89/01306/N
Proposal : PUB/RESTAURANT
Application Type: FUL
Decision : PER
Decision Date : 12/09/1989

Application No : 89/02461/N
Proposal : PUBLIC HOUSE/RESTAURANT AND CAR PARKS (3105 m.sq.)
Application Type: FUL
Decision : PER
Decision Date : 09/01/1990

Application No : A/90/00136/N
Proposal : VARIOUS BREWERY SIGNAGE
Application Type: ADV
Decision : PER
Decision Date : 16/11/1990

Application No : 00/01632/N
Proposal : THE FORMATION OF A GARDEN AREA TO THE EXISTING FRONTAGE OF THE TY GLAS PUBLIC HOUSE
Application Type: FUL
Decision : PER
Decision Date : 18/10/2000

Application No : 01/00145/N
Proposal : REMOVAL OF CONDITION 8 OF PLANNING APPROVAL 89/2461 DATED 9TH JANUARY 1990
Application Type: REM
Decision : PER
Decision Date : 15/03/2001

Application No : 01/00811/N
Proposal : FORMATION OF NEW PATIO TO EXISTING PUBLIC HOUSE
Application Type: FUL
Decision : PER
Decision Date : 08/06/2001

Application No : A/01/00089/N
Proposal : BREWERY SIGNAGE
Application Type: ADV
Decision : PER
Decision Date : 12/06/2001

Application No : A/03/00172/N
Proposal : NEW BREWERY SIGNAGE
Application Type: ADV
Decision : PER
Decision Date : 12/09/2003

Application No : 07/01955/E
Proposal : EXTENSION OF EXTERNAL DRINKING AREA AND 2 NO. TIMBER FRAME GAZEBOS ON PATIO AND RELOCATION OF 2 NO. JUMBERELLAS
Application Type: FUL
Decision : PER
Decision Date : 10/10/2007

Application No : A/15/00055/MNR
Proposal : 2 NO INTERNALLY ILLUMINATED POST SIGNS 2 NO INTERNALLY ILLUMINATED SETS OF LETTERS 2 NO INTERNALLY ILLUMINATED DISPLAY CASES 2 NO NON ILLUMINATED SETS OF LETTERS
Application Type: ADV
Decision : PER
Decision Date : 21/05/2015

Application No : 15/01034/MNR
Proposal : VARIATION OF CONDITION 3 OF 01/00811/N TO ALLOW USE OF THE PATIO FROM 0900 UNTIL 2330 HOURS
Application Type: VAR
Decision : PER
Decision Date : 17/06/2015

Application No : A/19/00058/MNR
Proposal : THE INSTALLATION OF 1 NO. FREESTANDING 6M TOTEM SIGN
Application Type: ADV
Decision : UNDECIDED

Application No : A/19/00059/MNR
Proposal : INSTALLATION OF SITE SIGNAGE INCLUDING; 4 NO. FREESTANDING SIGNS, 1 NO. BANNER SIGN AND 18 NO. DOT SIGNS.
Application Type: ADV
Decision : UNDECIDED

Application No : 19/01370/MNR
Proposal : RECONFIGURATION OF THE WIDER SITE INCLUDING PARKING AND PATIO LAYOUT, INSTALLATION OF WRAP AROUND DRIVE-THRU LANE AND THE INCLUSION OF A BACK OF HOUSE CORRAL STORAGE AREA AND ASSOCIATED WORKS TO THE SITE. INSTALLATION OF 2NO COD (CUSTOMER ORDER DISPLAYS) AND GOAL POST HEIGHT RESTRICTOR. ALTERATIONS TO THE ELEVATIONS INCLUDING NEW ENTRANCE DOOR AND DRIVE-

Application Type: THRU BOOTHS, NEW PLANT EQUIPMENT TO THE ROOF
Decision : FUL
Undecided

3. POLICY FRAMEWORK

National Planning Policy

- Planning Policy Wales (10th Ed) 2018
- Technical Advice Note 7: Outdoor Advertisement Control (1996)

Supplementary Planning Guidance

- Shop Fronts and Signage (October 2011)

4. CONSULTEE RESPONSES

- 4.1 The Operational Manager (Traffic and Transportation) raises no objection to the proposal.
- 4.2 The Operational Manager (SRS – Noise, Air & Light Pollution) has been consulted, no representations have been received.

5. REPRESENTATIONS

- 5.1 Three petitions, of 59, 51 and 15 signatories, have been received objecting to the proposal. The concerns expressed relate to health and wellbeing of the community, increased traffic, increased litter, anti-social behaviour and impact upon residential amenity.
- 5.2 Letters of representation, objecting to the proposal, have been received from parties of the following addresses:
- 12, 15, 16, 18, 20, 22, 23, 31, 32, 33, 34, 36 & 3 x no number provided Llys Faith, Llanishen
 - 8, 12, 63 Ty Glas Avenue, Llanishen
 - 63, 91, 114, 130, 136 & 149 Ty Glas Road, Llanishen
 - 39 & 79 Coed Glas Road, Llanishen
 - 102, 122, 137, 145, 148, 154, 160, 170, 174, 183, 186, 188, 221, 233, 251, 253, 257, 263, 265, 269, 273, 281, 283, & 1 x no number provided Fishguard Road, Llanishen
 - 132, 134 & 178 Fidlas Road, Llanishen
 - 8 & 11 Tasker Square, Llanishen
 - 1 & 27 Newborough Avenue, Llanishen
 - Headteacher of Coed Glas Primary School
 - 5 Gaerwen Close, Llanishen
 - 78 Ashbourn Way, Llanishen
 - 44 South Rise, Llanishen
 - 45 Station Road, Llanishen
 - 23 Trecastle Avenue, Llanishen

- 30, 36 & 44 Crundale Crescent, Llanishen
- 3 & 41 Wavell Close, Llanishen
- 26, 29, 33, 35 St Dogmaels Avenue, Llanishen
- 9, 11, 26 & 60 Kimberley Terrace, Llanishen
- 12 Cwrt Glas, Llanishen
- 10 Mostyn Square, Llanishen
- 149 Tatham Road, Llanishen
- 26 Crystal Glen, Llanishen
- 5 St Martins Crescent, Llanishen
- 10 Elan Road, Llanishen
- 19 Bluehouse Road, Llanishen
- 21 Llys Pegasus, Llanishen
- 32 Cherrywood Close, Thornhill
- 7 Sable Close, Lisvane
- 18 Cefn Onn Meadows, Lisvane
- 5 Ridgeway, Lisvane
- 9 Ilfracombe Crescent, Llanrumney
- 9 Clos Y Fran, Thornhill
- 10 Cheriton Drive, Thornhill
- 28 Guenever Close, Thornhill
- 42 Heol Hendre, Rhiwbina
- 20A Lakeside Drive
- 2 Skomer Court, Grangetown
- 5 Glynne Street, Riverside
- 10 Osprey Close, St Mellons
- 45 Mountbatten Road, Barry
- Several parties have supplied no address

The objections principally relate to the premise of advertising fast food, which is detrimental to health and well-being, within such close proximity to schools and the detrimental impact upon residential amenity.

5.3 Letters of representation, supporting the proposal, have been received from parties of the following addresses:

- 23 & 50 Fishguard Road, Llanishen
- 7 Llangefni Place, Llanishen
- 44a Heol Llanishen Fach, Llanishen
- 2 Trecastle Avenue, Llanishen
- 92 Heol Hir, Llanishen
- 13 Portfield Crescent, Llanishen
- 30 White Barn Road, Llanishen
- 25 St Dogmaels Avenue, Llanishen
- 8 Crundale Crescent, Llanishen
- 21 Spring Grove, Thornhill
- 22 Tristram Close, Thornhill
- 40 Angelica Way, Thornhill
- 57 Oakridge, Thornhill

- 7 Woodlawn Way, Thornhill
- 19 Pen Y Cefn, Thornhill
- 19 Plas Y Delyn, Lisvane
- 82 Heathway, Heath
- A Thornhill resident

5.4 Local Ward Member Cllr Phil Bale expresses concerns with the failure of the signage to be provided bilingually.

5.5 Julie Morgan AM objects to the proposal.

6. ANALYSIS

6.1 The display of advertisements can be controlled in the interests of amenity and public safety as detailed at Sec. 6 of TAN7.

6.2 The design and visual appearance of the signage proposed is appropriate relative to the site and its setting the site historically benefits from signage in this placement upon the building, the former Harvester and the Ty Glas PH prior both utilising the areas for signage. The maximum illumination level as detailed would be in accordance with guidance produced by the Institute of Lighting Professionals for suburban areas. It is, therefore, considered that amenity would not be harmed.

6.3 The design and siting of the advertisements are considered not to have a detrimental impact upon public safety. The advertisements are located such that they would not create a hazard to or endanger people in the vicinity who are taking reasonable care for their own or others safety.

6.4 Whilst the provision of bilingual signage is encouraged this is not a matter, with reference to the material considerations detailed at para. 6.,1 that would justify refusal of consent.

6.5 It is concluded that the application is acceptable and it is recommended that Advertisement Consent be granted.

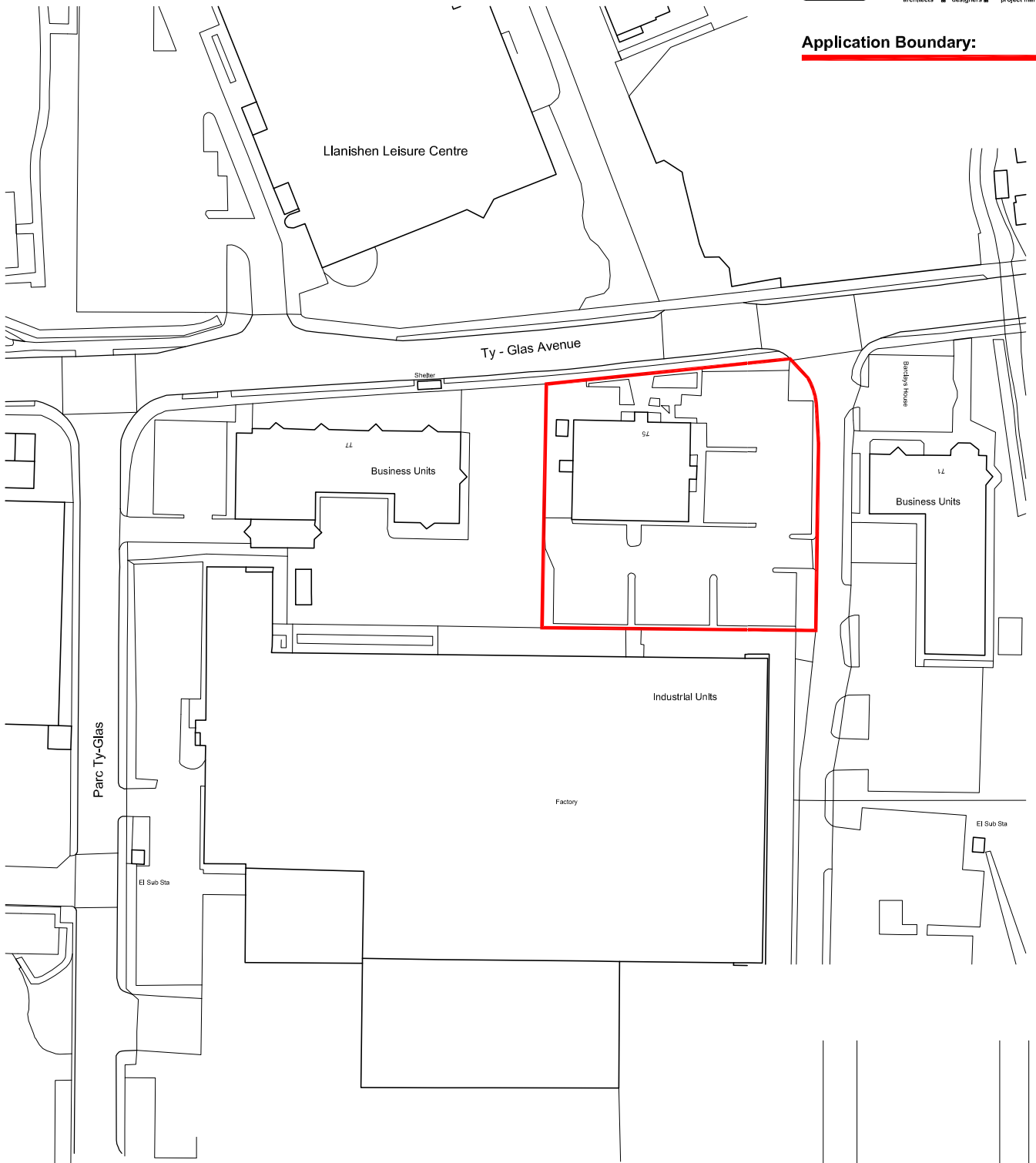


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 85 Southdown Road
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 North Yorkshire
 HG2 7JH
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 email@scurrarchitects.co.uk
 www.scurr.co.uk



architects ■ designers ■ project managers

Application Boundary:



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REV.	DATE.	PLANNING ISSUE	DRAWING REVISIONS.	BY.	CHECKED
A	26.04.19	PLANNING ISSUE		EV	-

GENERAL NOTES:
 All works are to be undertaken in accordance with the Building Regulations and the latest British Standards.
 All proprietary materials and products are to be used strictly in accordance with the manufacturer's recommendations.
 All dimensions to be checked on site prior to construction.
 All risks assessed to comply with the designer's responsibility under the Construction (Design Management) Regulations 2015.

PROPOSED DEVELOPMENT AT
 Harvester, Ty Glas Avenue
 CARDIFF CF14 5DX

STORE No :-
 NB8061

ON BEHALF OF :-
 McDonald's Restaurants Ltd

DRAWING TITLE :-
 Site Location Plan

DRAWN BY: EV
 CHECKED BY: [Blank]
 DRAWING No.: 7763-SA-8061-AL01 A
 SCALE & SIZE: 1:1250 @ A4
 DATE: April 2019

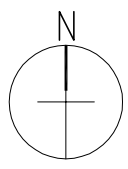


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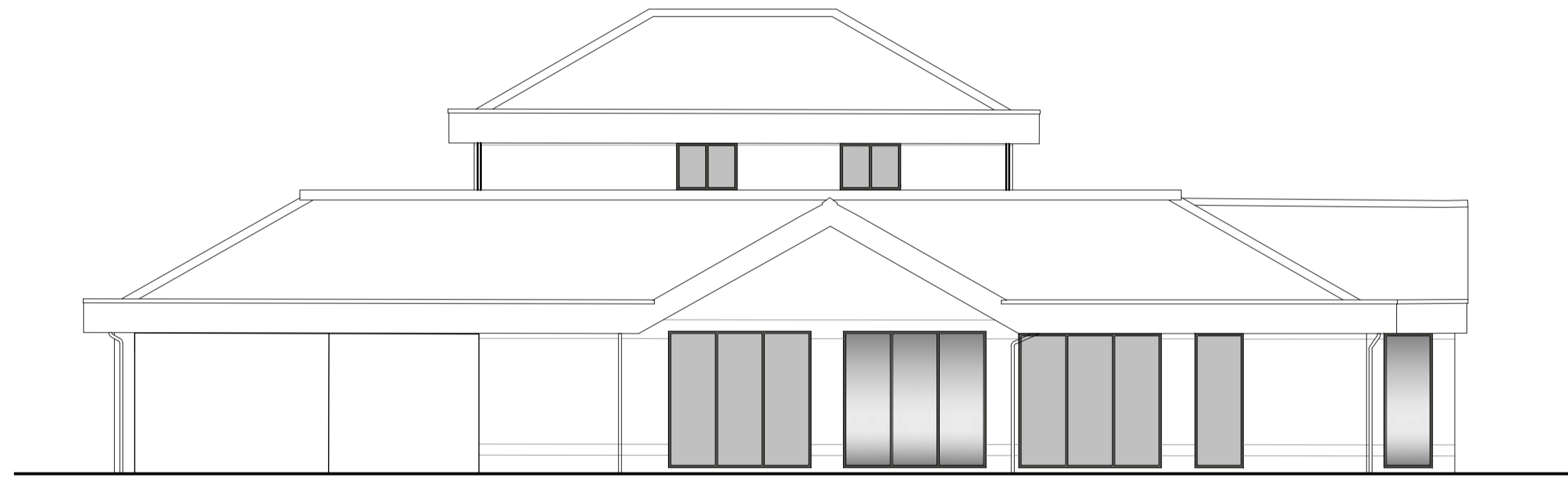
Scale in metres.



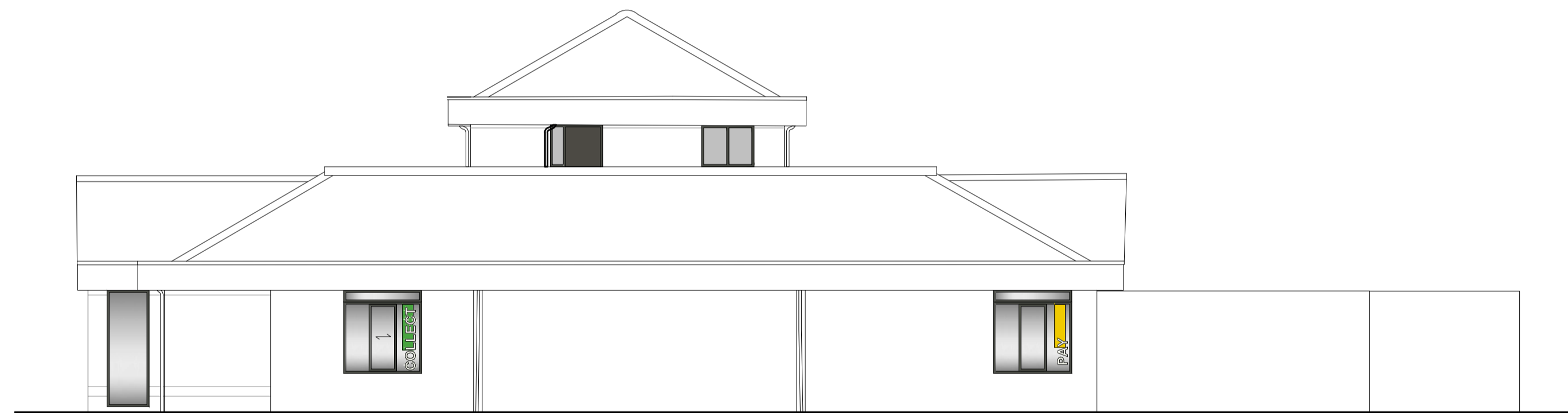
NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION

BUILDING SIGN SCHEDULE - ERDDS SIGNAGE (BUTTERFIELDS SIGNS)								
ADVERT REF	SIGN TYPE	QTY	SIZE (mm)	MATERIALS	HEIGHT (mm) ABOVE GROUND	EXTENT (mm) OF PROJECTION	HEIGHT (mm) OF TEXT	ILLUMINATION
LETTERS	SIGN 5	2	5450W x 100D x 606H	White acrylic "McDonald's" text.	Refer to Elevations	N/A	606	(STATIC - Max. 600cd/m ²)
GOLDEN ARCH	SIGN 19	2	1029W x 100D x 900H	Yellow acrylic "Golden Arch" symbol.	Refer to Elevations	N/A	900	(STATIC - Max. 600cd/m ²)

REV.	DATE	PLANNING ISSUE	DRAWING REVISIONS	BY	CHECKED
D	06.07.2019	Updated to match latest elevations.		NCC	-
C	17.05.2019	Re-issued screen credits.		JB	NCC
B	29.04.2019	Existing clock towers removed. Annotations updated.		BV	-
A	26.04.2019	PLANNING ISSUE		BV	-

GENERAL NOTES:
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 All proprietary materials and products are to be used strictly in accordance with the manufacturer's recommendations.
 All dimensions to be checked on site prior to construction.
 All risks assessed to comply with the designer's responsibility under the Construction (Design Management) Regulations 2015.

PROPOSED DEVELOPMENT AT
 Harvester, Ty Glas Avenue
 CARDIFF CF14 5DX

STORE No :-
 NB8061

ON BEHALF OF :-
 McDonald's Restaurants Ltd

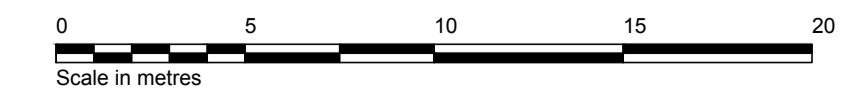
DRAWING TITLE :-
 Signage Elevations

DRAWN BY
 BV

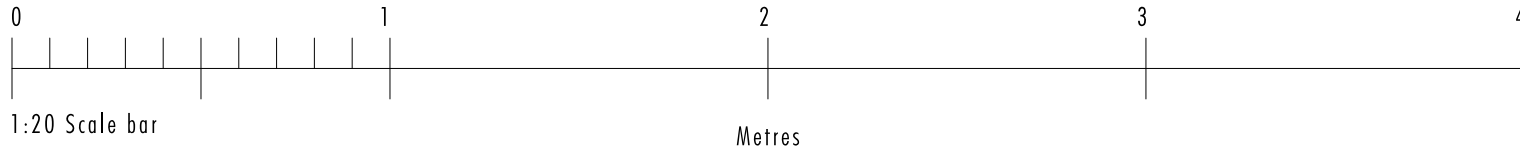
CHECKED BY
 [Signature]

DRAWING No.
 7763-SA-8061-P009 D

DATE
 April 2019

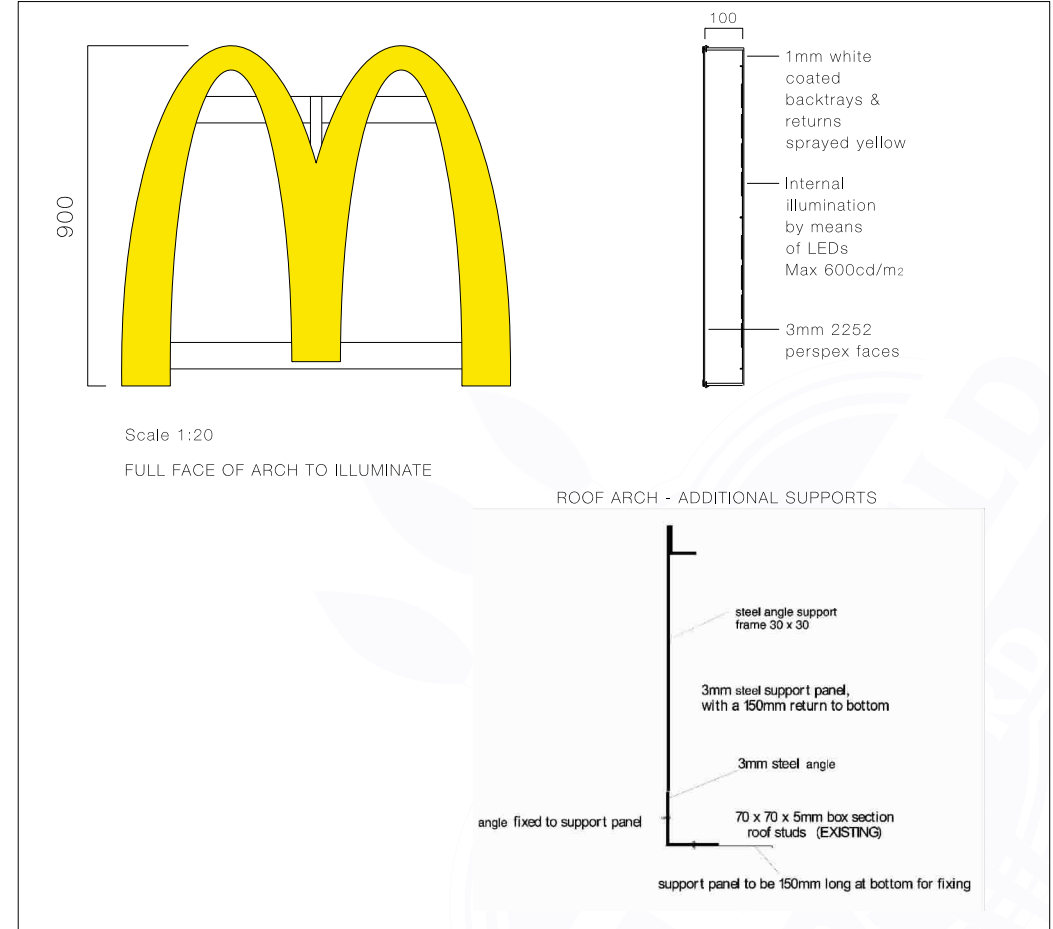


NON-MODEL



DATE	21-09-2010	SCALE	1:20 @ A4
SALES CONT.	ARB	DRAWN BY	GC
JOB NO.	97296	DWG NO.	McDonalds / 132 / 2010

SIGN 19



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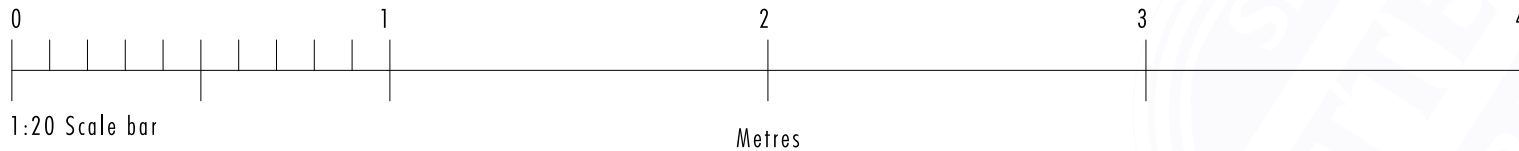
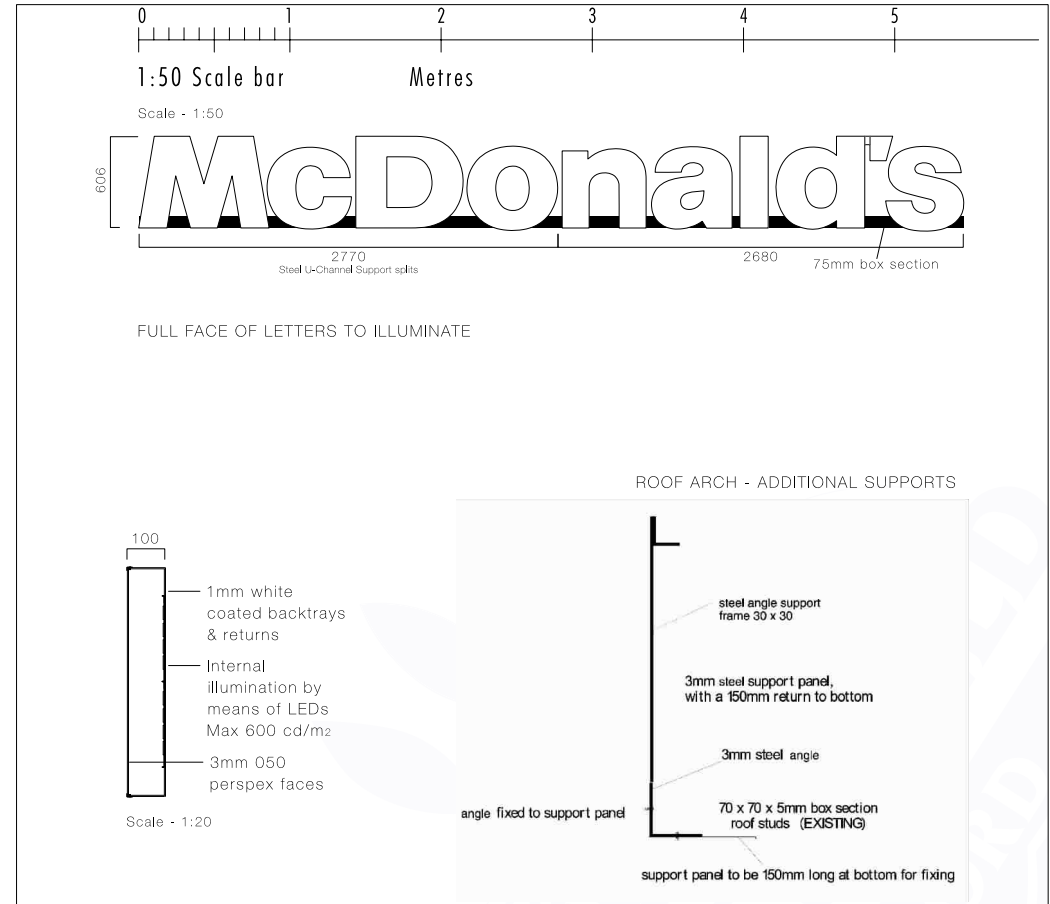
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CERTIFICATE No. FM 32534

SIGN 5

DATE	07 FEBRUARY 2008	SCALE	1:50/20 @ A4
SALES CONT.	ARB	DRAWN BY	GC
JOB NO.	77670	DWG NO.	McDonalds / 002 / 2008



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LOCAL MEMBER OBJECTION, AM OBJECTION, PETITION

COMMITTEE DATE: 14/08/2019

APPLICATION No. **A/19/000058/MNR** APPLICATION DATE: 03/05/2019ED: **LLANISHEN**

APP: TYPE: ADVERTISEMENT CONSENT

APPLICANT: MCDONALD'S RESTAURANTS LTD
 LOCATION: FORMER THE TY GLAS, 75 TY GLAS AVENUE, LLANISHEN, CARDIFF, CF14 5DX
 PROPOSAL: THE INSTALLATION OF 1 NO. FREESTANDING 6M TOTEM SIGN.

RECOMMENDATION 1 : That advertisement consent be **GRANTED**, subject to the following conditions:

1. C03 – Statutory Time Limit – Advertisements
2. The consent relates to the following approved plans:
 - 93679B Page 1 – Sign Type 1A – Drive Totem 1: 6.0 meter
 - 7763-SI-8061-P022 E – Site Layout Plan Drive Totem

Reason: For the avoidance of doubt to the extent of the consent granted.

RECOMMENDATION 2 : The applicant be advised that the use of the Welsh Language is encouraged where possible and consideration should be given to bilingual signage.

1. DESCRIPTION OF PROPOSED DEVELOPMENT

- 1.1 Advertisement consent is sought for the display of signage within the curtilage of an existing commercial restaurant premises to which alterations are proposed.
- 1.2 The site is located on Ty Glas Avenue, Llanishen, Cardiff a busy thoroughfare and main traffic route within this part of the city. The site is located on the periphery of a business/industrial park and the immediate neighbours are of a commercial nature, including offices, a leisure centre and warehouses. Recently a development of apartments has been introduced opposite the site and an estate of dwellinghouses is in excess of 50m from the boundary of the application site. The premises have recently been occupied by the Harvester brand as a restaurant with bar facilities.
- 1.3 The proposed signage consists of a Totem Sign of a height of approx.. 6m

and a width of 1.44m and a thickness of 0.32m. The signage would be double sided with 4 sections, the top section benefitting from a backlit logo to a maximum 600cd/m².

2. SITE HISTORY OF RELEVANCE

Application No : 89/01306/N
Proposal : PUB/RESTAURANT
Application Type: FUL
Decision : PER
Decision Date : 12/09/1989

Application No : 89/02461/N
Proposal : PUBLIC HOUSE/RESTAURANT AND CAR PARKS (3105 m.sq.)
Application Type: FUL
Decision : PER
Decision Date : 09/01/1990

Application No : A/90/00136/N
Proposal : VARIOUS BREWERY SIGNAGE
Application Type: ADV
Decision : PER
Decision Date : 16/11/1990

Application No : 00/01632/N
Proposal : THE FORMATION OF A GARDEN AREA TO THE EXISTING FRONTAGE OF THE TY GLAS PUBLIC HOUSE
Application Type: FUL
Decision : PER
Decision Date : 18/10/2000

Application No : 01/00145/N
Proposal : REMOVAL OF CONDITION 8 OF PLANNING APPROVAL 89/2461 DATED 9TH JANUARY 1990
Application Type: REM
Decision : PER
Decision Date : 15/03/2001

Application No : 01/00811/N
Proposal : FORMATION OF NEW PATIO TO EXISTING PUBLIC HOUSE
Application Type: FUL
Decision : PER
Decision Date : 08/06/2001

Application No : A/01/00089/N
Proposal : BREWERY SIGNAGE
Application Type: ADV
Decision : PER
Decision Date : 12/06/2001

Application No : A/03/00172/N
Proposal : NEW BREWERY SIGNAGE
Application Type: ADV

Decision : PER
Decision Date : 12/09/2003

Application No : 07/01955/E
Proposal : EXTENSION OF EXTERNAL DRINKING AREA AND 2 NO. TIMBER FRAME GAZEBOS ON PATIO AND RELOCATION OF 2 NO. JUMBERELLAS

Application Type: FUL
Decision : PER
Decision Date : 10/10/2007

Application No : A/15/00055/MNR
Proposal : 2 NO INTERNALLY ILLUMINATED POST SIGNS 2 NO INTERNALLY ILLUMINATED SETS OF LETTERS 2 NO INTERNALLY ILLUMINATED DISPLAY CASES 2 NO NON ILLUMINATED SETS OF LETTERS

Application Type: ADV
Decision : PER
Decision Date : 21/05/2015

Application No : 15/01034/MNR
Proposal : VARIATION OF CONDITION 3 OF 01/00811/N TO ALLOW USE OF THE PATIO FROM 0900 UNTIL 2330 HOURS

Application Type: VAR
Decision : PER
Decision Date : 17/06/2015

Application No : A/19/00057/MNR
Proposal : INSTALLATION OF 4 NO. FASCIA SIGNS

Application Type: ADV
Decision : UNDECIDED

Application No : A/19/00059/MNR
Proposal : INSTALLATION OF SITE SIGNAGE INCLUDING; 4 NO. FREESTANDING SIGNS, 1 NO. BANNER SIGN AND 18 NO. DOT SIGNS.

Application Type: ADV
Decision : UNDECIDED

Application No : 19/01370/MNR
Proposal : RECONFIGURATION OF THE WIDER SITE INCLUDING PARKING AND PATIO LAYOUT, INSTALLATION OF WRAP AROUND DRIVE-THRU LANE AND THE INCLUSION OF A BACK OF HOUSE CORRAL STORAGE AREA AND ASSOCIATED WORKS TO THE SITE. INSTALLATION OF 2NO COD (CUSTOMER ORDER DISPLAYS) AND GOAL POST HEIGHT RESTRICTOR. ALTERATIONS TO THE ELEVATIONS INCLUDING NEW ENTRANCE DOOR AND DRIVE-THRU BOOTHS, NEW PLANT EQUIPMENT TO THE ROOF

Application Type: FUL
Decision : Undecided

3. POLICY FRAMEWORK

National Planning Policy

- Planning Policy Wales (10th Ed) 2018
- Technical Advice Note 7: Outdoor Advertisement Control (1996)

Supplementary Planning Guidance

- Shop Fronts and Signage (October 2011)

4. CONSULTEE RESPONSES

- 4.1 The Operational Manager (Traffic and Transportation) raises no objection to the proposal.
- 4.2 The Operational Manager (SRS – Noise, Air & Light Pollution) has been consulted, no representations have been received.

5. REPRESENTATIONS

- 5.1 Three petitions, of 59, 51 and 15 signatories, have been received objecting to the proposal. The concerns expressed relate to health and wellbeing of the community, increased traffic, increased litter, anti-social behaviour and impact upon residential amenity.
- 5.2 Letters of representation, objecting to the proposal, have been received from parties of the following addresses:
- 12, 15, 16, 18, 20, 22, 23, 31, 32, 33, 34, 36 & 3 x no number provided Llys Faith, Llanishen
 - 8, 12, 63 Ty Glas Avenue, Llanishen
 - 63, 91, 114, 130, 136 & 149 Ty Glas Road, Llanishen
 - 39 & 79 Coed Glas Road, Llanishen
 - 102, 122, 137, 145, 148, 154, 160, 170, 174, 183, 186, 188, 221, 233, 251, 253, 257, 263, 265, 269, 273, 281, 283, & 1 x no number provided Fishguard Road, Llanishen
 - 132, 134 & 178 Fidlas Road, Llanishen
 - 8 & 11 Tasker Square, Llanishen
 - 1 & 27 Newborough Avenue, Llanishen
 - Headteacher of Coed Glas Primary School
 - 5 Gaerwen Close, Llanishen
 - 78 Ashbourn Way, Llanishen
 - 44 South Rise, Llanishen
 - 45 Station Road, Llanishen
 - 23 Trecastle Avenue, Llanishen
 - 30, 36 & 44 Crundale Crescent, Llanishen
 - 3 & 41 Wavell Close, Llanishen
 - 26, 29, 33, 35 St Dogmaels Avenue, Llanishen
 - 9, 11, 26 & 60 Kimberley Terrace, Llanishen
 - 12 Cwrt Glas, Llanishen

- 10 Mostyn Square, Llanishen
- 149 Tatham Road, Llanishen
- 26 Crystal Glen, Llanishen
- 5 St Martins Crescent, Llanishen
- 10 Elan Road, Llanishen
- 19 Bluehouse Road, Llanishen
- 21 Llys Pegasus, Llanishen
- 32 Cherrywood Close, Thornhill
- 7 Sable Close, Lisvane
- 18 Cefn Onn Meadows, Lisvane
- 5 Ridgeway, Lisvane
- 9 Ilfracombe Crescent, Llanrumney
- 9 Clos Y Fran, Thornhill
- 10 Cheriton Drive, Thornhill
- 28 Guenever Close, Thornhill
- 42 Heol Hendre, Rhiwbina
- 20A Lakeside Drive
- 2 Skomer Court, Grangetown
- 5 Glynne Street, Riverside
- 10 Osprey Close, St Mellons
- 45 Mountbatten Road, Barry
- Several parties have supplied no address

The objections principally relate to the premise of advertising fast food, which is detrimental to health and well-being, within such close proximity to schools and the detrimental impact upon residential amenity.

5.3 Letters of representation, supporting the proposal, have been received from parties of the following addresses:

- 23 & 50 Fishguard Road, Llanishen
- 7 Llangefni Place, Llanishen
- 44a Heol Llanishen Fach, Llanishen
- 2 Trecastle Avenue, Llanishen
- 92 Heol Hir, Llanishen
- 13 Portfield Crescent, Llanishen
- 30 White Barn Road, Llanishen
- 25 St Dogmaels Avenue, Llanishen
- 8 Crundale Crescent, Llanishen
- 21 Spring Grove, Thornhill
- 22 Tristram Close, Thornhill
- 40 Angelica Way, Thornhill
- 57 Oakridge, Thornhill
- 7 Woodlawn Way, Thornhill
- 19 Pen Y Cefn, Thornhill
- 19 Plas Y Delyn, Lisvane
- 82 Heathway, Heath
- A Thornhill resident

5.4 Local Ward Member Cllr Phil Bale expresses concerns with the failure of the signage to be provided bilingually and originally objected to the initially proposed 12m high Totem signage.

5.5 Julie Morgan AM objects to the proposal.

6. ANALYSIS

6.1 The display of advertisements can be controlled in the interests of amenity and public safety as detailed at Sec. 6 of TAN7.

6.2 The design and visual appearance of the signage proposed is appropriate relative to the site and its setting the site historically benefits from such signage within this location, the former Harvester having a 4.2m high sign at this location and the Ty Glas PH prior to that. The maximum illumination level as detailed would be in accordance with guidance produced by the Institute of Lighting Professionals for suburban areas. It is, therefore, considered that amenity would not be harmed.

6.3 The design and siting of the advertisements are considered not to have a detrimental impact upon public safety. The advertisements are located such that they would not create a hazard to or endanger people in the vicinity who are taking reasonable care for their own or others safety.

6.4 Whilst the provision of bilingual signage is encouraged this is not a matter, with reference to the material considerations detailed at para. 6.,1 that would justify refusal of consent.

6.5 It is concluded that the application is acceptable and it is recommended that Advertisement Consent be granted.

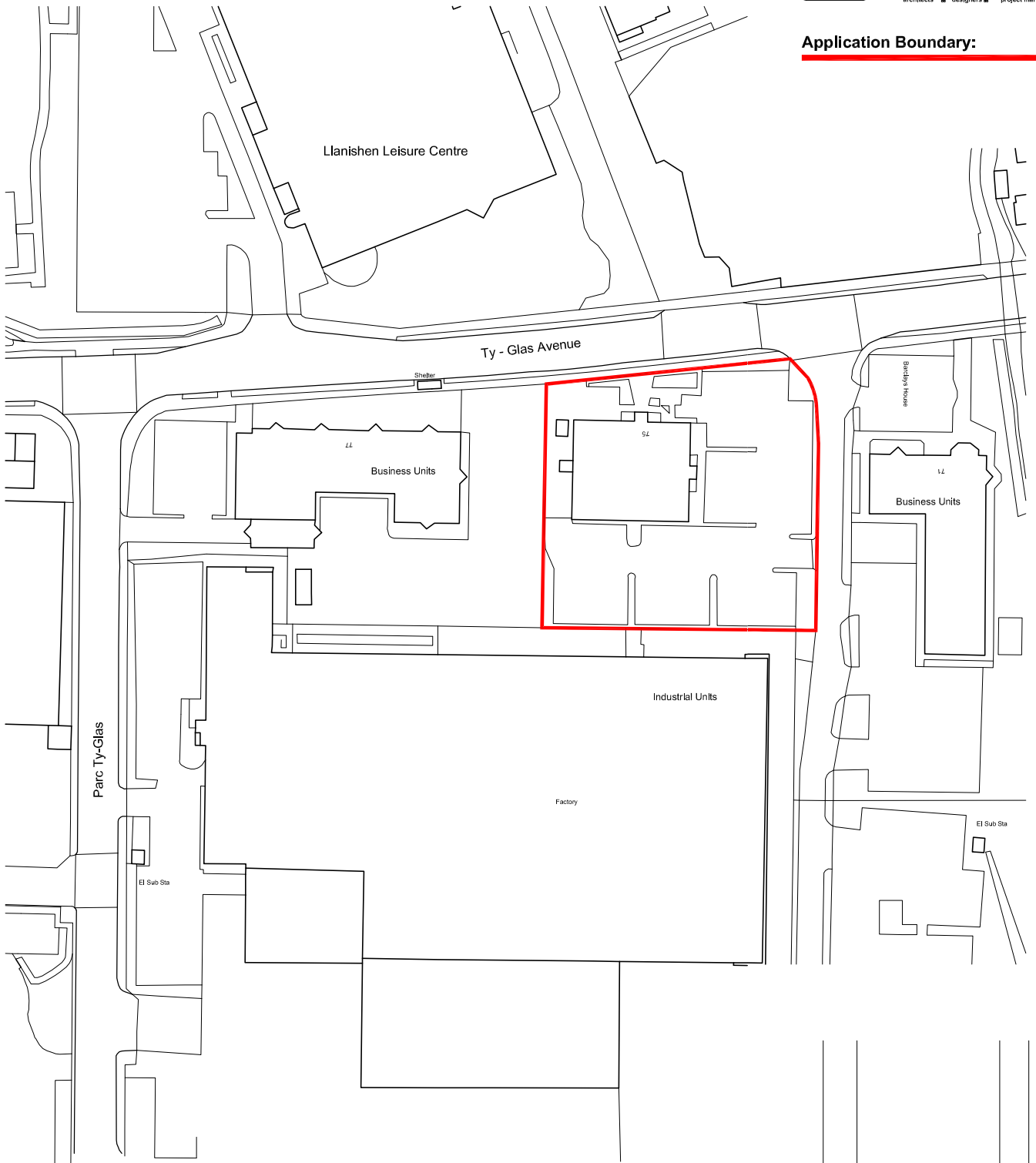


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Application Boundary:



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REV.	DATE.	PLANNING ISSUE	DRAWING REVISIONS.	BY.	CHECKED
A	26.04.19	PLANNING ISSUE		EV	-

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PROPOSED DEVELOPMENT AT
 Harvester, Ty Glas Avenue
 CARDIFF CF14 5DX

STORE No :-
 NB8061

ON BEHALF OF :-
 McDonald's Restaurants Ltd

DRAWING TITLE :-
 Site Location Plan

DRAWN BY: EV
 CHECKED BY: [Blank]
 DRAWING No.: 7763-SA-8061-AL01 A
 SCALE & SIZE: 1:1250@A4
 DATE: April 2019

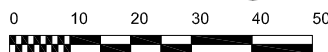
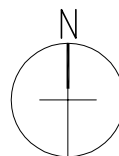


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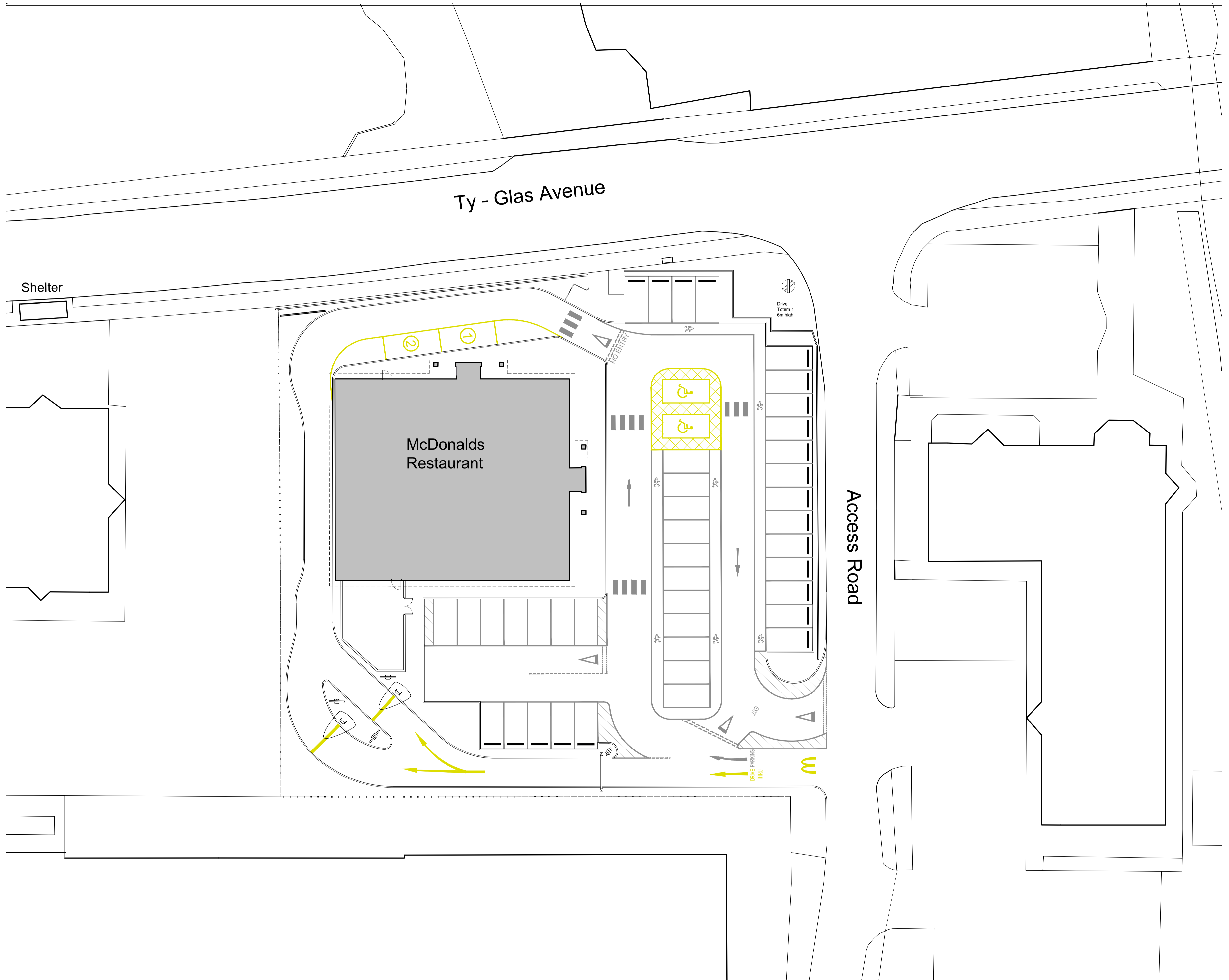


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Scale in metres.



SIGNAGE SCHEDULE - ERDDES SIGNAGE (BUTTERFIELDS SIGNS)									
ADVERT REF	SIGN TYPE	QTY	SIZE (mm)	MATERIALS	COLOUR	HEIGHT (mm) ABOVE GROUND	EXTENT (mm) OF PROJECTION	HEIGHT (mm) OF TEXT	ILLUMINATION
DRIVE TOTEM 1 (6m)	1A	1	1440W x 320D x 6000H	PPC Aluminium Totem Sign in RAL 6015 and Timber effect, with moulded Yellow acrylic internally illuminated "Golden Arch" to both sides. 'Drive Thru' appendage is internally illuminated.	Khaki Green RAL 6015, Timber, Yellow, White & Red	6000	N/A	N/A	(STATIC - Max 600cd/m ²)

REV.	DATE	DESCRIPTION	BY	CHECKED
E	14.06.2019	Updated to match latest site plan.	NCC	-
D	29.05.2019	Drive totem updated.	MR	-
C	29.05.2019	Layout updated to match latest Site Layout Plan.	MR	NCC
B	17.05.2019	Layout updated to match latest Site Layout Plan.	JS	NCC
A	26.04.2019	PLANNING ISSUE	BV	-

GENERAL NOTES:
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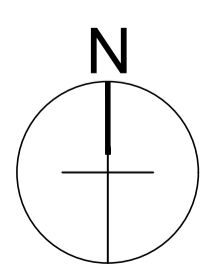
PROPOSED DEVELOPMENT AT: Harvester, Ty Glas Avenue, CARDIFF CF14 5DX
 STORE No: NB8061

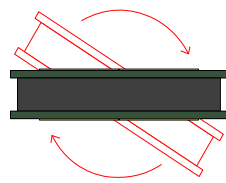
ON BEHALF OF: McDonald's Restaurants Ltd

DRAWING TITLE: Site Layout Plan
 Drive Totem

DRAWN BY: BV
 SCALE: 1:200@A1
 DATE: April 2019
 CHECKED BY: [blank]
 DRAWING NO.: 7763-SA-8061-P022 E

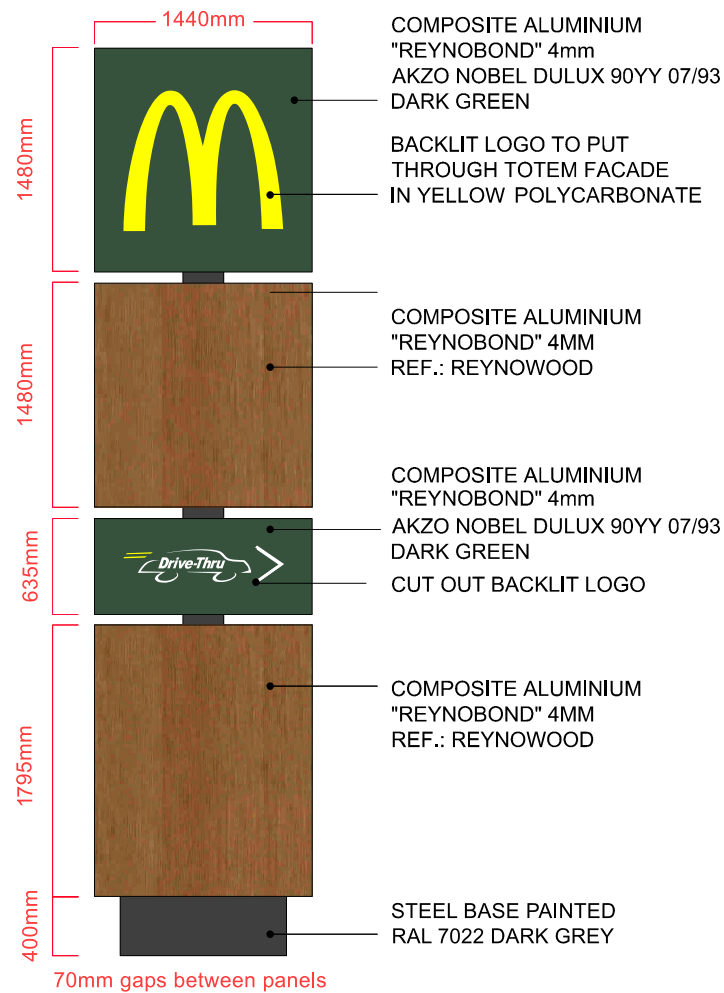
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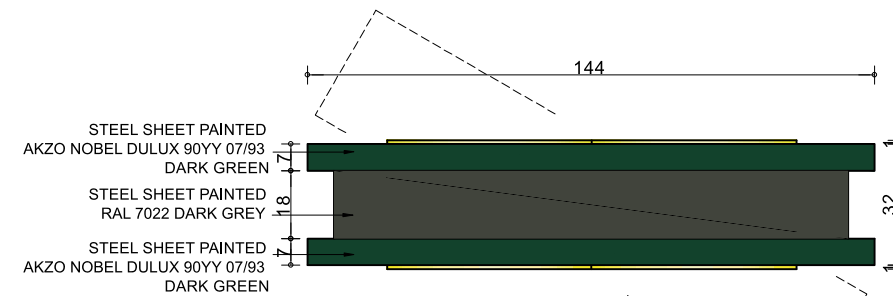
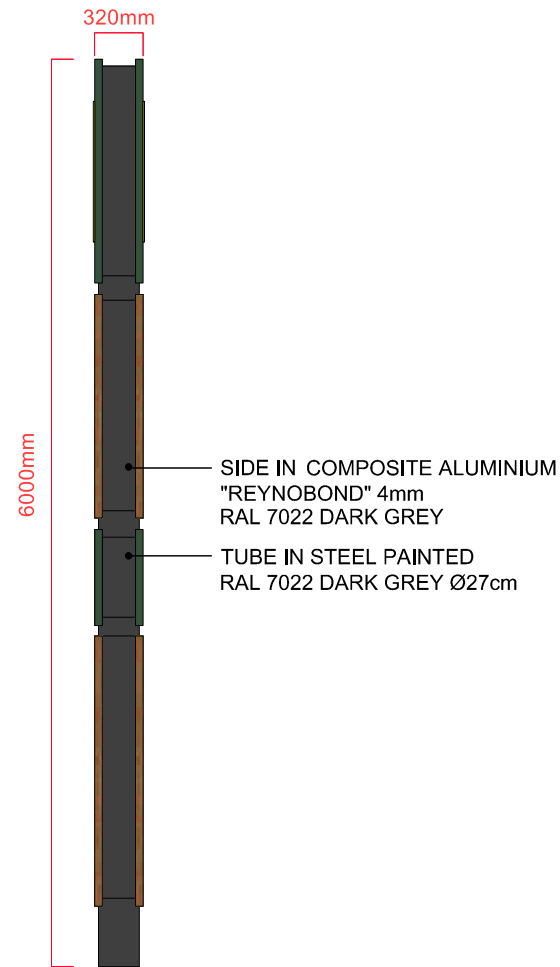


McDRIVE LOGO BOX IS ADJUSTABLE AND POINTS TO THE DRIVE-THRU LANE.

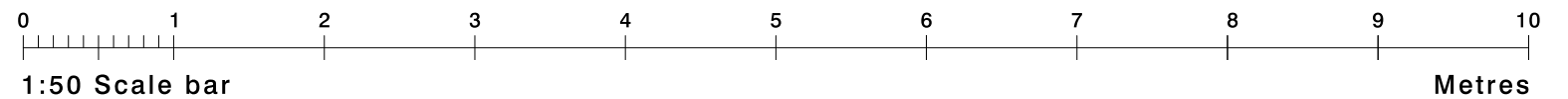
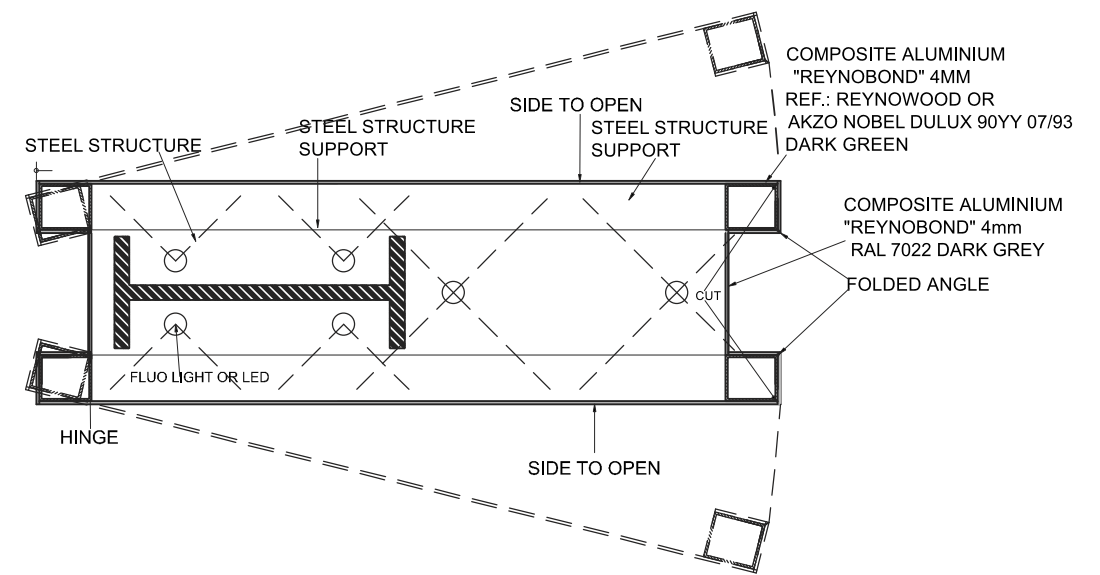
Front View



Side View



PLAN VIEW 1/20



Site
McDonald's
Generic

Job Number
93679B Page 1

Drawing Location
U:\2019\2019 Drawings\McDonalds\

Scale
as shown @ A3

Issue / Rev
1

Drawn By
KJMc

Checked By
PM

Sales Rep
ARB

Date
11/06/2019



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LOCAL MEMBER OBJECTION, AM OBJECTION, PETITION

COMMITTEE DATE: 14/08/2019

APPLICATION No. **A/19/000059/MNR** APPLICATION DATE: 03/05/2019ED: **LLANISHEN**

APP: TYPE: ADVERTISEMENT CONSENT

APPLICANT: MCDONALD'S RESTAURANTS LTD

LOCATION: FORMER THE TY GLAS, 75 TY GLAS AVENUE, LLANISHEN, CARDIFF, CF14 5DX

PROPOSAL: INSTALLATION OF SITE SIGNAGE INCLUDING; 4 NO. FREESTANDING SIGNS, 1 NO. BANNER SIGN AND 18 NO. DOT SIGNS.

RECOMMENDATION 1: That advertisement consent be **GRANTED**, subject to the following conditions:

1. C03 – Statutory Time Limit – Advertisements
2. The consent relates to the following approved plans:
 - 7763-SA-8061-P008 E – Site Layout Plan Site Signage
 - McD/038/2016 – Erdds Banner Unit
 - Generic – 10MPH Disc
 - Sign Type 24 – Litter Sign
 - Sign Type 24 – Parked Order Bay 1
 - Sign Type 24 – Parked Order Bay 2
 - Sign Type 25 – Give Way
 - Sign Type 25 – No Entry
 - Sign Type 25 – Pedestrian Crossing
 - Caution Look Left/Right Traffic Approaching
 - 877779A Page 2/3 – Sign 1 – Double Digital Menu Board
 - 877779A Page 3/3 – Sign 2 – Single Digital Menu Board

Reason: For the avoidance of doubt to the extent of the consent granted

RECOMMENDATION 2: The applicant be advised that the use of the Welsh Language is encouraged where possible and consideration should be given to bilingual signage.

1. DESCRIPTION OF PROPOSED DEVELOPMENT

- 1.1 Advertisement consent is sought for the display of signage within the curtilage of an existing commercial restaurant premises to which alterations are

proposed.

1.2 The site is located on Ty Glas Avenue, Llanishen, Cardiff a busy thoroughfare and main traffic route within this part of the city. The site is located on the periphery of a business/industrial park and the immediate neighbours are of a commercial nature, including offices, a leisure centre and warehouses. Recently a development of apartments has been introduced opposite the site and an estate of dwellinghouses is in excess of 50m from the boundary of the application site. The premises have recently been occupied by the Harvester brand as a restaurant with bar facilities.

1.3 The proposed signage consists of:

- A double sided banner unit measuring approx. 4.8m x 2.6m sited to the north west corner of the site in close proximity to the boundary with Ty Glas Avenue;
- 2no. double digital screens measuring approx. 1.4m x 1.65m and 0.74m above ground level sited to the south west corner of the site serving a 'drive thru';
- 2 no. single digital screens measuring approx. 1.4m x 0.85m and 0.74m above ground level sited to the south of the site on the approach to a 'drive thru';
- A range, totalling 18, of traffic safety and information signs of a surface area not exceeding 0.2m².

2. **SITE HISTORY OF RELEVANCE**

Application No : 89/01306/N
Proposal : PUB/RESTAURANT
Application Type: FUL
Decision : PER
Decision Date : 12/09/1989

Application No : 89/02461/N
Proposal : PUBLIC HOUSE/RESTAURANT AND CAR PARKS (3105
m.sq.)
Application Type: FUL
Decision : PER
Decision Date : 09/01/1990

Application No : A/90/00136/N
Proposal : VARIOUS BREWERY SIGNAGE
Application Type: ADV
Decision : PER
Decision Date : 16/11/1990

Application No : 00/01632/N
Proposal : THE FORMATION OF A GARDEN AREA TO THE EXISTING
FRONTAGE OF THE TY GLAS PUBLIC HOUSE
Application Type: FUL
Decision : PER
Decision Date : 18/10/2000

Application No : 01/00145/N
Proposal : REMOVAL OF CONDITION 8 OF PLANNING APPROVAL
89/2461 DATED 9TH JANUARY 1990
Application Type: REM
Decision : PER
Decision Date : 15/03/2001

Application No : 01/00811/N
Proposal : FORMATION OF NEW PATIO TO EXISTING PUBLIC HOUSE
Application Type: FUL
Decision : PER
Decision Date : 08/06/2001

Application No : A/01/00089/N
Proposal : BREWERY SIGNAGE
Application Type: ADV
Decision : PER
Decision Date : 12/06/2001

Application No : A/03/00172/N
Proposal : NEW BREWERY SIGNAGE
Application Type: ADV
Decision : PER
Decision Date : 12/09/2003

Application No : 07/01955/E
Proposal : EXTENSION OF EXTERNAL DRINKING AREA AND 2 NO.
TIMBER FRAME GAZEBOS ON PATIO AND RELOCATION OF
2 NO. JUMBERELLAS
Application Type: FUL
Decision : PER
Decision Date : 10/10/2007

Application No : A/15/00055/MNR
Proposal : 2 NO INTERNALLY ILLUMINATED POST SIGNS 2 NO
INTERNALLY ILLUMINATED SETS OF LETTERS 2 NO
INTERNALLY ILLUMINATED DISPLAY CASES 2 NO NON
ILLUMINATED SETS OF LETTERS
Application Type: ADV
Decision : PER
Decision Date : 21/05/2015

Application No : 15/01034/MNR
Proposal : VARIATION OF CONDITION 3 OF 01/00811/N TO ALLOW
USE OF THE PATIO FROM 0900 UNTIL 2330 HOURS
Application Type: VAR
Decision : PER
Decision Date : 17/06/2015

Application No : A/19/00057/MNR
Proposal : INSTALLATION OF 4 NO. FASCIA SIGNS
Application Type: ADV
Decision : UNDECIDED

Application No : A/19/00058/MNR
Proposal : THE INSTALLATION OF 1 NO. FREESTANDING 6M TOTEM SIGN.
Application Type: ADV
Decision : UNDECIDED

Application No : 19/01370/MNR
Proposal : RECONFIGURATION OF THE WIDER SITE INCLUDING PARKING AND PATIO LAYOUT, INSTALLATION OF WRAP AROUND DRIVE-THRU LANE AND THE INCLUSION OF A BACK OF HOUSE CORRAL STORAGE AREA AND ASSOCIATED WORKS TO THE SITE. INSTALLATION OF 2NO COD (CUSTOMER ORDER DISPLAYS) AND GOAL POST HEIGHT RESTRICTOR. ALTERATIONS TO THE ELEVATIONS INCLUDING NEW ENTRANCE DOOR AND DRIVE-THRU BOOTHS, NEW PLANT EQUIPMENT TO THE ROOF
Application Type: FUL
Decision : Undecided

3. POLICY FRAMEWORK

National Planning Policy

- Planning Policy Wales (10th Ed) 2018
- Technical Advice Note 7: Outdoor Advertisement Control (1996)

Supplementary Planning Guidance

- Shop Fronts and Signage (October 2011)

4. CONSULTEE RESPONSES

4.1 None

5. REPRESENTATIONS

5.1 Three petitions, of 59, 51 and 15 signatories, have been received objecting to the proposal. The concerns expressed relate to health and wellbeing of the community, increased traffic, increased litter, anti-social behaviour and impact upon residential amenity.

5.2 Letters of representation, objecting to the proposal, have been received from parties of the following addresses:

- 12, 15, 16, 18, 20, 22, 23, 31, 32, 33, 34, 36 & 3 x no number provided Llys Faith, Llanishen
- 8, 12, 63 Ty Glas Avenue, Llanishen
- 63, 91, 114, 130, 136 & 149 Ty Glas Road, Llanishen
- 39 & 79 Coed Glas Road, Llanishen
- 102, 122, 137, 145, 148, 154, 160, 170, 174, 183, 186, 188, 221, 233, 251,

253, 257, 263, 265, 269, 273, 281, 283, & 1 x no number provided
Fishguard Road, Llanishen

- 132, 134 & 178 Fidlas Road, Llanishen
- 8 & 11 Tasker Square, Llanishen
- 1 & 27 Newborough Avenue, Llanishen
- Headteacher of Coed Glas Primary School
- 5 Gaerwen Close, Llanishen
- 78 Ashbourn Way, Llanishen
- 44 South Rise, Llanishen
- 45 Station Road, Llanishen
- 23 Trecastle Avenue, Llanishen
- 30, 36 & 44 Crundale Crescent, Llanishen
- 3 & 41 Wavell Close, Llanishen
- 26, 29, 33, 35 St Dogmaels Avenue, Llanishen
- 9, 11, 26 & 60 Kimberley Terrace, Llanishen
- 12 Cwrt Glas, Llanishen
- 10 Mostyn Square, Llanishen
- 149 Tatham Road, Llanishen
- 26 Crystal Glen, Llanishen
- 5 St Martins Crescent, Llanishen
- 10 Elan Road, Llanishen
- 19 Bluehouse Road, Llanishen
- 21 Llys Pegasus, Llanishen
- 32 Cherrywood Close, Thornhill
- 7 Sable Close, Lisvane
- 18 Cefn Onn Meadows, Lisvane
- 5 Ridgeway, Lisvane
- 9 Ilfracombe Crescent, Llanrumney
- 9 Clos Y Fran, Thornhill
- 10 Cheriton Drive, Thornhill
- 28 Guenever Close, Thornhill
- 42 Heol Hendre, Rhiwbina
- 20A Lakeside Drive
- 2 Skomer Court, Grangetown
- 5 Glynne Street, Riverside
- 10 Osprey Close, St Mellons
- 45 Mountbatten Road, Barry
- Several parties have supplied no address

The objections principally relate to the premise of advertising fast food, which is detrimental to health and well-being, within such close proximity to schools and the detrimental impact upon residential amenity.

5.3 Letters of representation, supporting the proposal, have been received from parties of the following addresses:

- 23 & 50 Fishguard Road, Llanishen
- 7 Llangefni Place, Llanishen

- 44a Heol Llanishen Fach, Llanishen
- 2 Trecastle Avenue, Llanishen
- 92 Heol Hir, Llanishen
- 13 Portfield Crescent, Llanishen
- 30 White Barn Road, Llanishen
- 25 St Dogmaels Avenue, Llanishen
- 8 Crundale Crescent, Llanishen
- 21 Spring Grove, Thornhill
- 22 Tristram Close, Thornhill
- 40 Angelica Way, Thornhill
- 57 Oakridge, Thornhill
- 7 Woodlawn Way, Thornhill
- 19 Pen Y Cefn, Thornhill
- 19 Plas Y Delyn, Lisvane
- 82 Heathway, Heath
- A Thornhill resident

5.4 Local Ward Member Cllr Phil Bale expresses concerns with the failure of the signage to be provided bilingually.

5.5 Julie Morgan AM objects to the proposal.

6. **ANALYSIS**

6.1 The display of advertisements can be controlled in the interests of amenity and public safety as detailed at Sec. 6 of TAN7.

6.2 The design and visual appearance of the signage proposed is appropriate relative to the site and its setting and would not harm amenity.

6.3 The design and siting of the advertisements are considered not to have a detrimental impact upon public safety. The advertisements are located such that they would not create a hazard to or endanger people in the vicinity who are taking reasonable care for their own or others safety.

6.4 Whilst the provision of bilingual signage is encouraged this is not a matter, with reference to the material considerations detailed at para. 6.1, that would justify refusal of consent.

6.5 It is concluded that the application is acceptable and it is recommended that Advertisement Consent be granted.

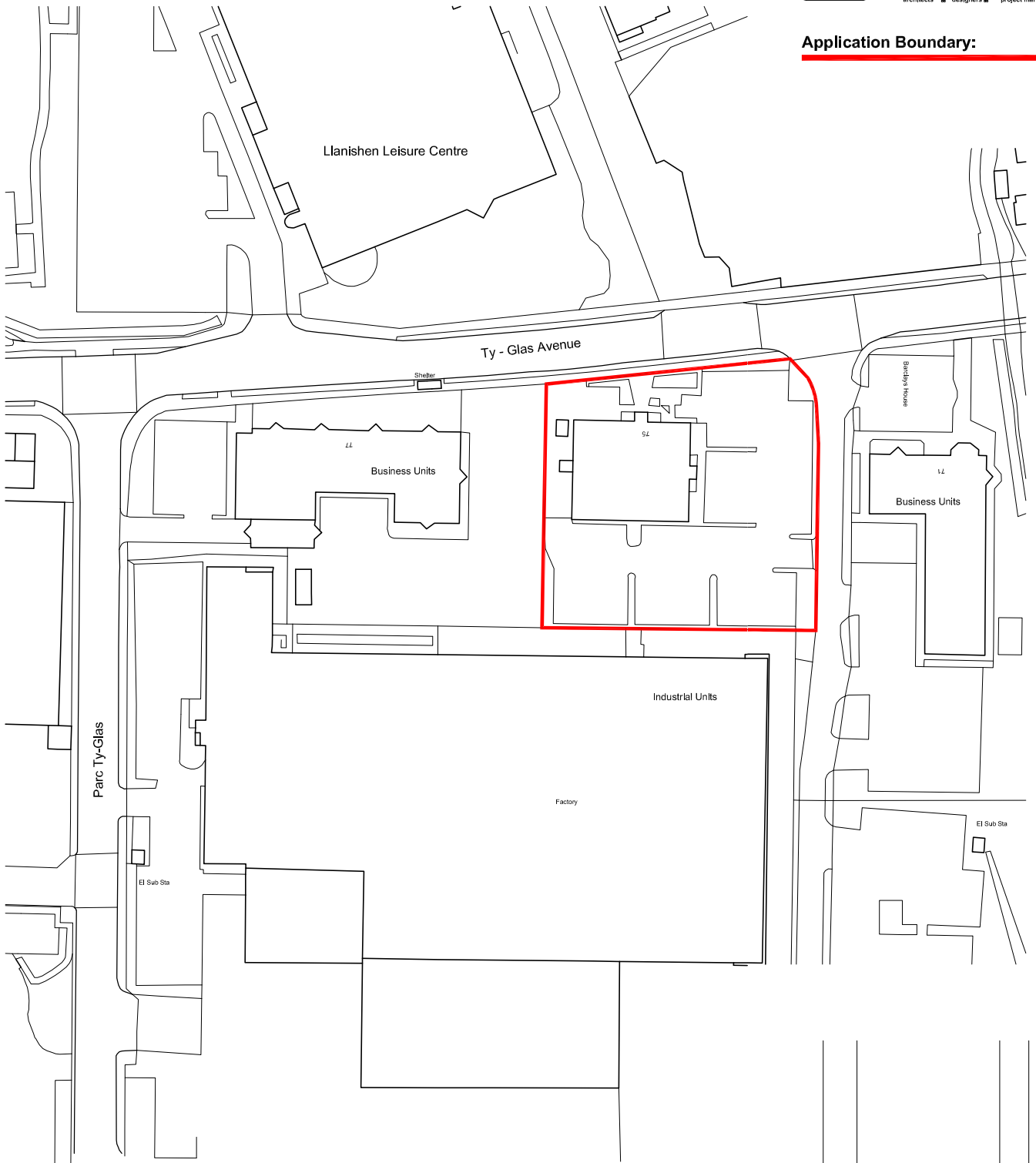


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architects ■ designers ■ project managers

Application Boundary:



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REV.	DATE.	PLANNING ISSUE	DRAWING REVISIONS.	BY.	CHECKED
A	26.04.19	PLANNING ISSUE		EV	-

GENERAL NOTES:
 All works are to be undertaken in accordance with the Building Regulations and the latest British Standards.
 All proprietary materials and products are to be used strictly in accordance with the manufacturer's recommendations.
 All dimensions to be checked on site prior to construction.
 All risks assessed to comply with the designer's responsibility under the Construction (Design Management) Regulations 2015.

PROPOSED DEVELOPMENT AT
 Harvester, Ty Glas Avenue
 CARDIFF CF14 5DX

STORE No :-
 NB8061

ON BEHALF OF :-
 McDonald's Restaurants Ltd

DRAWING TITLE :-
 Site Location Plan

DRAWN BY: EV
 CHECKED BY: [Blank]
 DRAWING No.: 7763-SA-8061-AL01 A
 SCALE & SIZE: 1:1250@A4
 DATE: April 2019

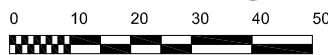
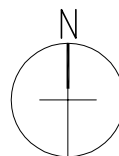


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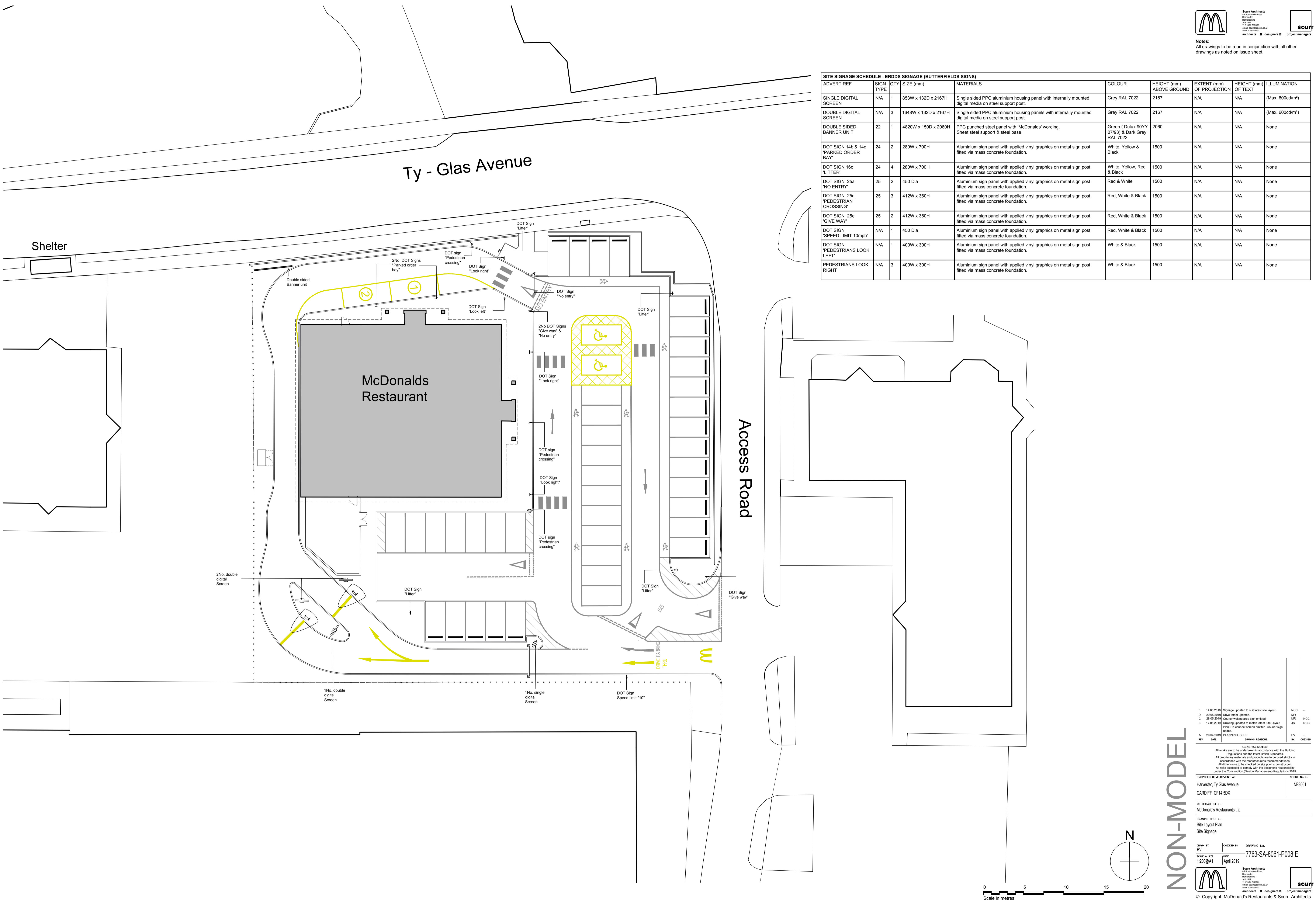
architects ■ designers ■ project managers

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Scale in metres.

ADVERT REF	SIGN TYPE	QTY	SIZE (mm)	MATERIALS	COLOUR	HEIGHT (mm) ABOVE GROUND	EXTENT (mm) OF PROJECTION	HEIGHT (mm) OF TEXT	ILLUMINATION
SINGLE DIGITAL SCREEN	N/A	1	853W x 132D x 2167H	Single sided PPC aluminium housing panel with internally mounted digital media on steel support post.	Grey RAL 7022	2167	N/A	N/A	(Max. 600cd/m ²)
DOUBLE DIGITAL SCREEN	N/A	3	1648W x 132D x 2167H	Single sided PPC aluminium housing panels with internally mounted digital media on steel support post.	Grey RAL 7022	2167	N/A	N/A	(Max. 600cd/m ²)
DOUBLE SIDED BANNER UNIT	22	1	4820W x 150D x 2060H	PPC punched steel panel with 'McDonalds' wording. Sheet steel support & steel base	Green (Dulux 90YY 07/93) & Dark Grey RAL 7022	2060	N/A	N/A	None
DOT SIGN 14b & 14c 'PARKED ORDER BAY'	24	2	280W x 700H	Aluminium sign panel with applied vinyl graphics on metal sign post fitted via mass concrete foundation.	White, Yellow & Black	1500	N/A	N/A	None
DOT SIGN 16c 'LITTER'	24	4	280W x 700H	Aluminium sign panel with applied vinyl graphics on metal sign post fitted via mass concrete foundation.	White, Yellow, Red & Black	1500	N/A	N/A	None
DOT SIGN 25a 'NO ENTRY'	25	2	450 Dia	Aluminium sign panel with applied vinyl graphics on metal sign post fitted via mass concrete foundation.	Red & White	1500	N/A	N/A	None
DOT SIGN 25d 'PEDESTRIAN CROSSING'	25	3	412W x 360H	Aluminium sign panel with applied vinyl graphics on metal sign post fitted via mass concrete foundation.	Red, White & Black	1500	N/A	N/A	None
DOT SIGN 25e 'GIVE WAY'	25	2	412W x 360H	Aluminium sign panel with applied vinyl graphics on metal sign post fitted via mass concrete foundation.	Red, White & Black	1500	N/A	N/A	None
DOT SIGN 'SPEED LIMIT 10mph'	N/A	1	450 Dia	Aluminium sign panel with applied vinyl graphics on metal sign post fitted via mass concrete foundation.	Red, White & Black	1500	N/A	N/A	None
DOT SIGN 'PEDESTRIANS LOOK LEFT'	N/A	1	400W x 300H	Aluminium sign panel with applied vinyl graphics on metal sign post fitted via mass concrete foundation.	White & Black	1500	N/A	N/A	None
PEDESTRIANS LOOK RIGHT	N/A	3	400W x 300H	Aluminium sign panel with applied vinyl graphics on metal sign post fitted via mass concrete foundation.	White & Black	1500	N/A	N/A	None



REV.	DATE	DESCRIPTION	BY	CHKD
E	14.06.2019	Signage updated to suit latest site layout.	NCC	-
D	28.05.2019	Drawn items updated.	MR	-
C	28.05.2019	Counter waiting area sign omitted.	MR	NCC
B	17.05.2019	Drawing updated to match latest Site Layout Plan. Re-connect screen omitted. Counter sign added.	JS	NCC
A	28.04.2019	PLANNING ISSUE	BV	-
REV.	DATE	DESCRIPTION	BY	CHKD

GENERAL NOTES:
All works are to be undertaken in accordance with the Building Regulations and the latest British Standards.
All proprietary materials and products are to be used strictly in accordance with the manufacturer's recommendations.
All dimensions to be checked on site prior to construction.
All risks assessed to comply with the designer's responsibility under the Construction (Design Management) Regulations 2015.

PROPOSED DEVELOPMENT AT:
Harvester, Ty Glas Avenue
CARDIFF CF14 5DX

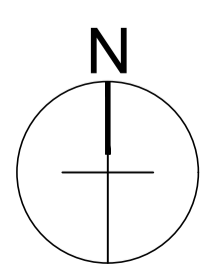
STORE No: NB8061

ON BEHALF OF:
McDonald's Restaurants Ltd

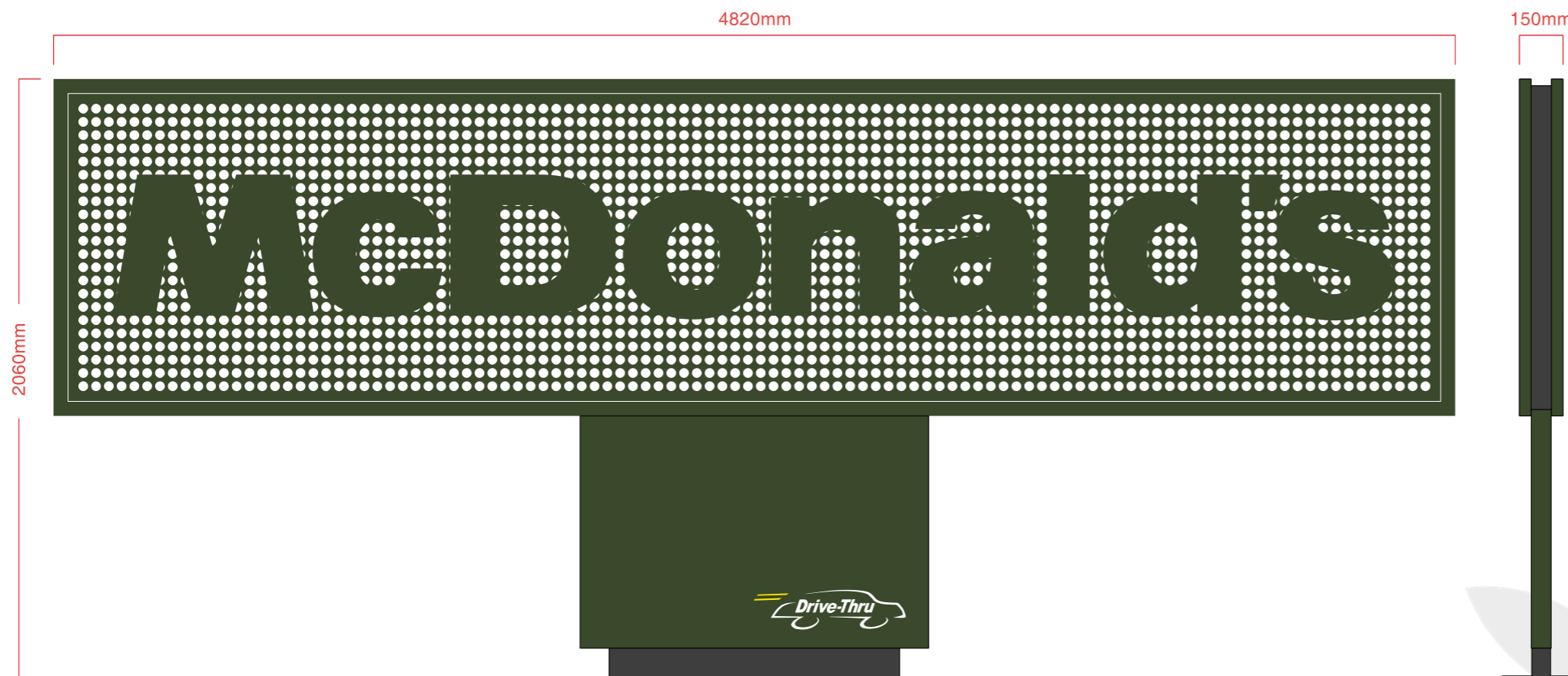
DRAWING TITLE:
Site Layout Plan
Site Signage

DRAWN BY: BV
SCALE & SIZE: 1:200@A1
CHECKED BY: []
DATE: April 2019
DRAWING No.: 7763-SA-8061-P008 E

NON-MODEL



DATE	10 August 2016	SCALE	AS SHOWN @ A3
SALES CONT.	MS	DRAWN BY	CW
JOB NO.	66871	DWG NO.	McD / 038 / 2016



scale 1:20



UNIT WITHOUT BANNER IN PLACE



UNIT WITH BANNER IN PLACE



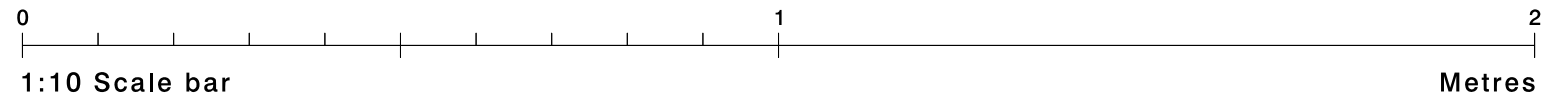
174 SUNBRIDGE ROAD, BRADFORD, WEST YORKSHIRE. BD1 2RZ. Tel : +44 (0) 1274 722244 Fax : +44 (0) 1274 848998 - www.butterfieldsigns.co.uk

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CERTIFICATE No. FM 32534

Sign 1 - Scale 1:10 Double Digital Menu Board



Front View



1426mm

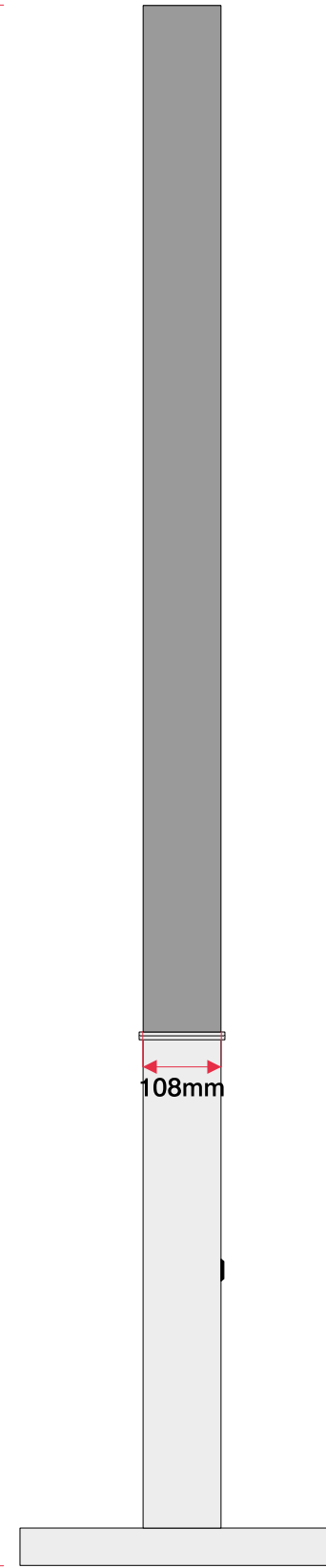
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1648mm

550mm

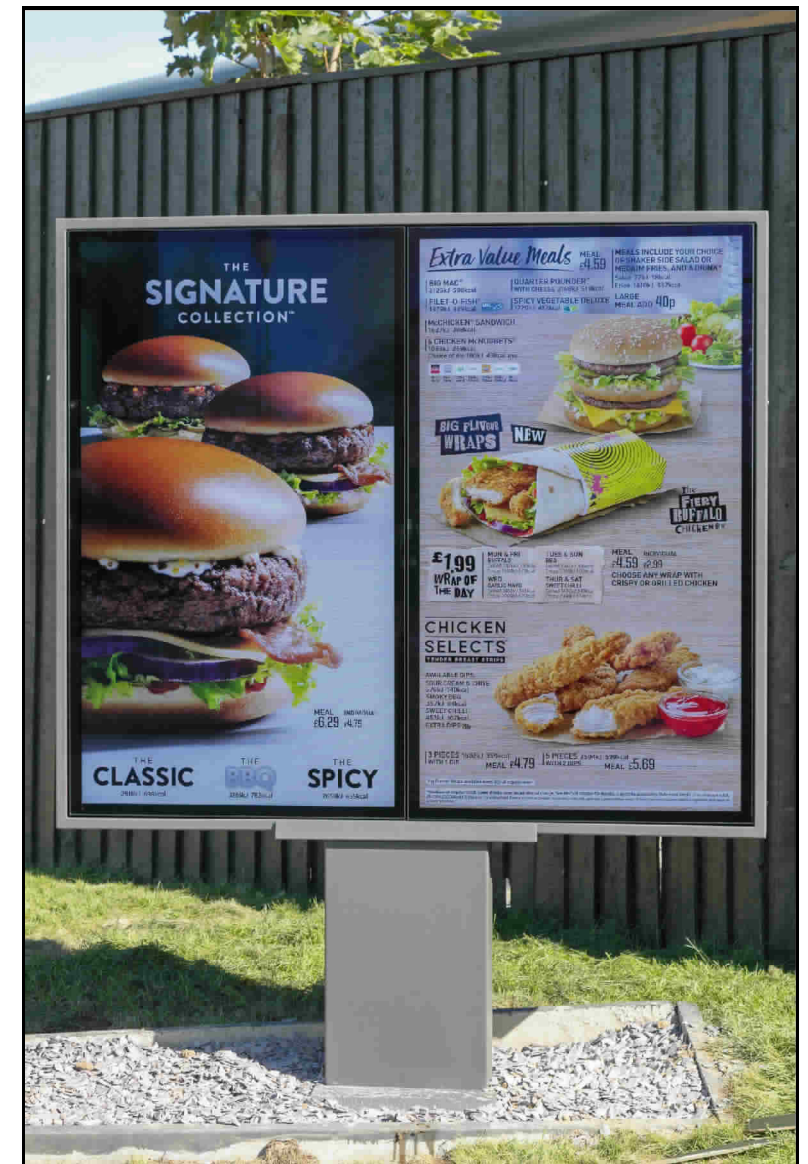
740mm

Side View



108mm

Proposed Signage



Site
Digital Drive Thru Lane
McDIGDT

Job Number
87779A Page 2/3

Drawing Location
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Scale
as shown @ A3

Issue / Rev
1

Drawn By
KG

Checked By
PM

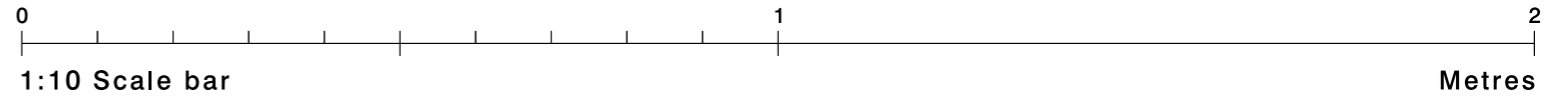
Sales Rep
ARB

Date
16/10/2018



BUTTERFIELD SIGNS LTD
174 Sunbridge Rd
Bradford
West Yorkshire
BD1 2RZ
Tel: 01274 722244
Fax: 01274 848996
Web: www.butterfieldsigns.co.uk

Sign 2 - Scale 1:10 Single Digital Menu Board



Front View



1426mm

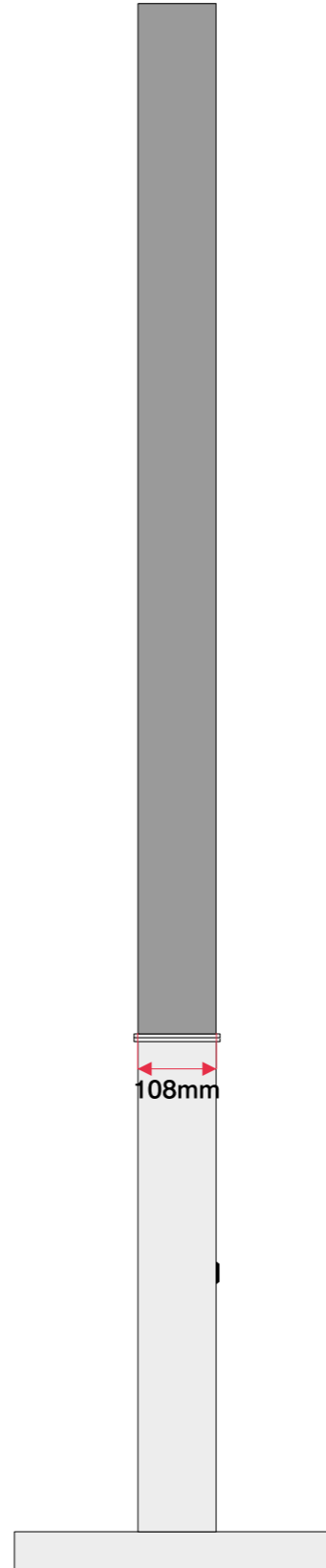
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853mm

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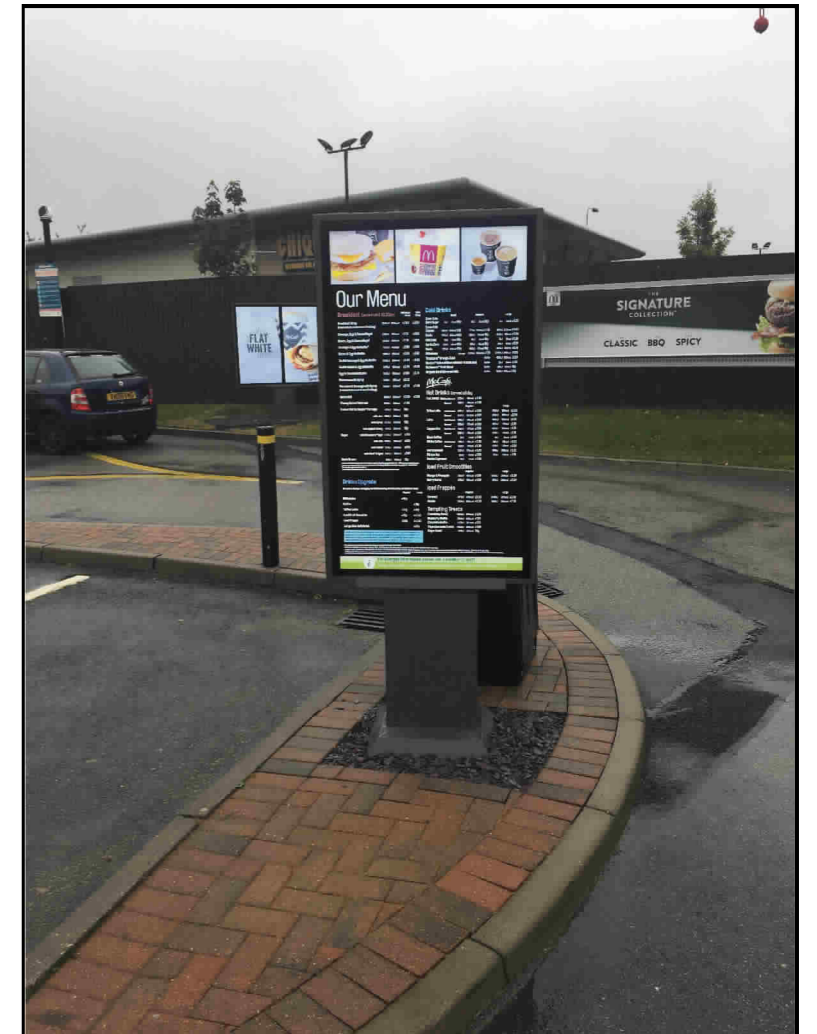
550mm

Side View



108mm

Proposed Signage



Site
Digital Drive Thru Lane
McDIGDT

Job Number
87779A Page 3/3

Drawing Location
M:\2018 Drawings\McDonalds\87779

Scale
as shown @ A3

Issue / Rev
1

Drawn By
KG

Checked By
PM

Sales Rep
ARB

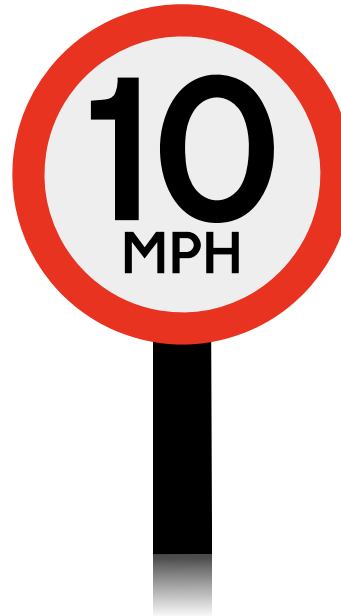
Date
16/10/2018



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Bradford
West Yorkshire
BD1 2RZ
Tel: 01274 722244
Fax: 01274 848996
Web: www.butterfieldsigns.co.uk

DATE	28 Sept 2016	SCALE	AS SHOWN @ A4
SALES CONT.	MC	DRAWN BY	KG
JOB NO.	47468	DWG NO.	Generic

10 MPH DISC scale 1:10



10 MPH DISC

DIMENSIONS

450mm diameter

DESCRIPTION

Flat aluminium disc with signfix to rear & applied reflective vinyl display.



1:10 Scale bar

Metres



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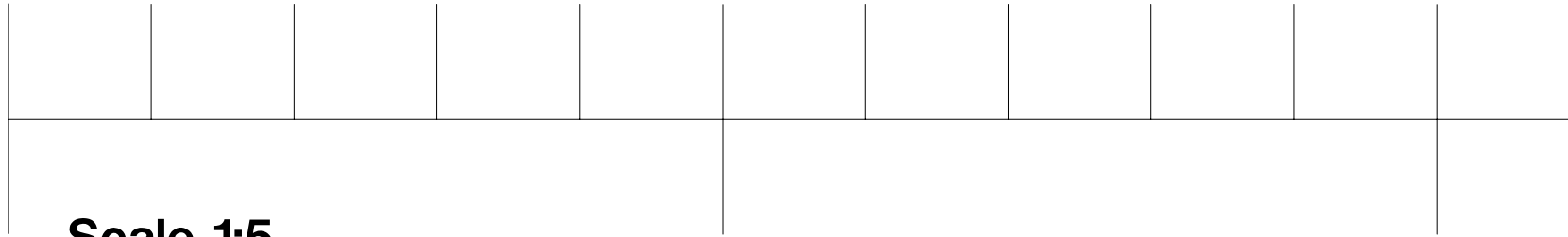
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CERTIFICATE No. FM 32534

0

1



Scale 1:5

Metres

450mm x 300mm

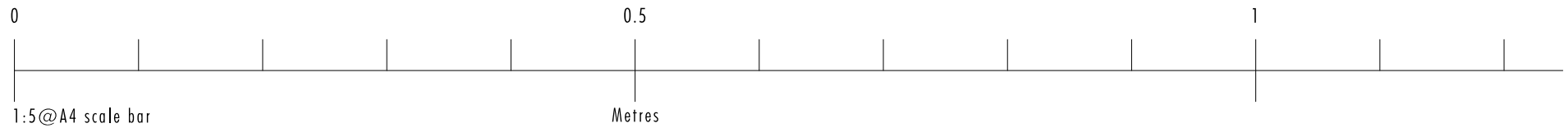
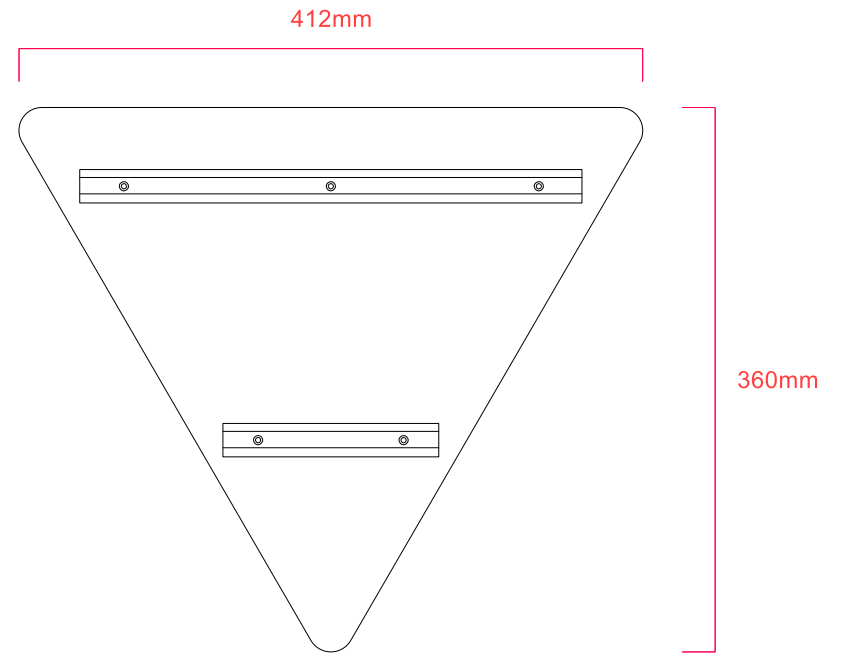
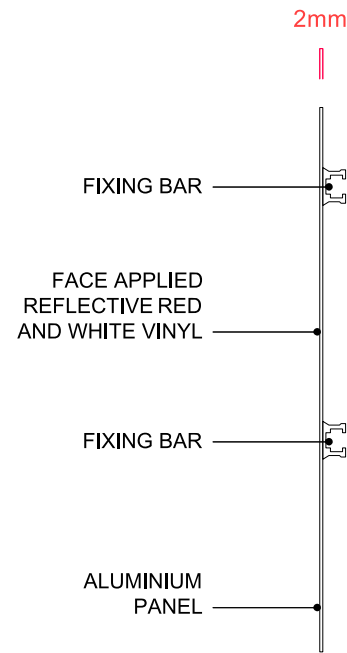


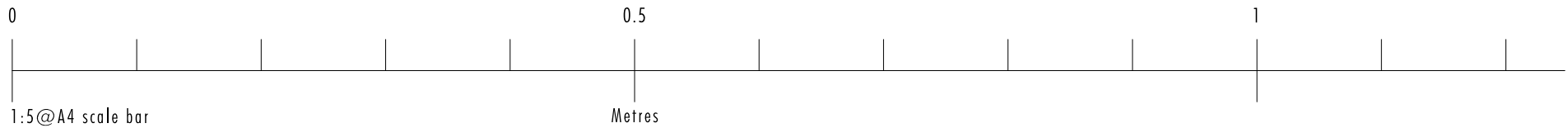
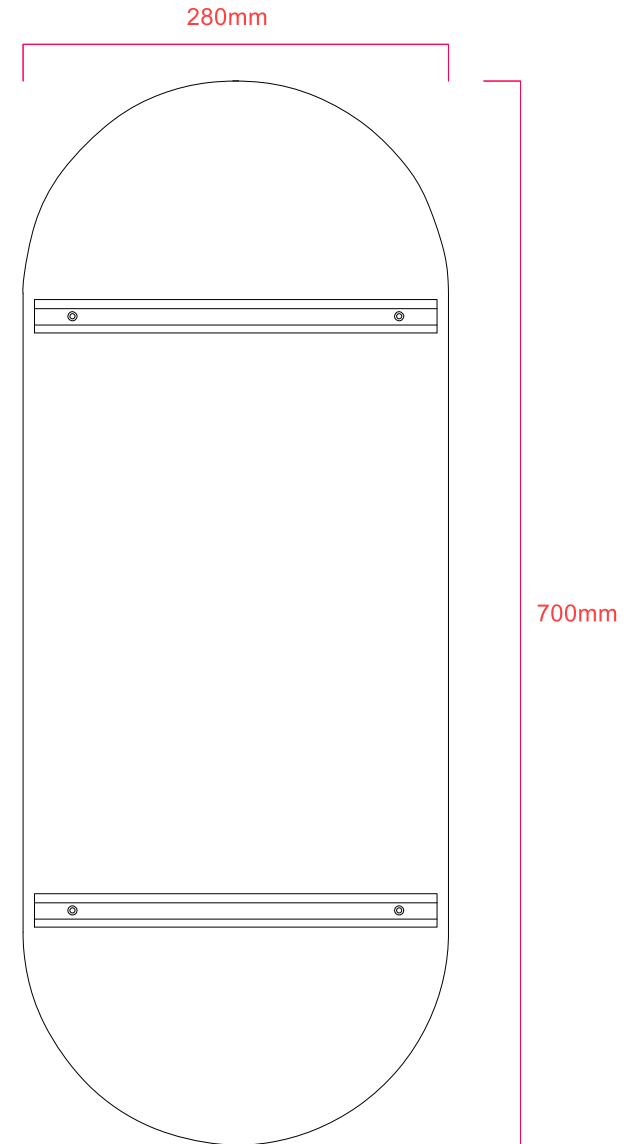
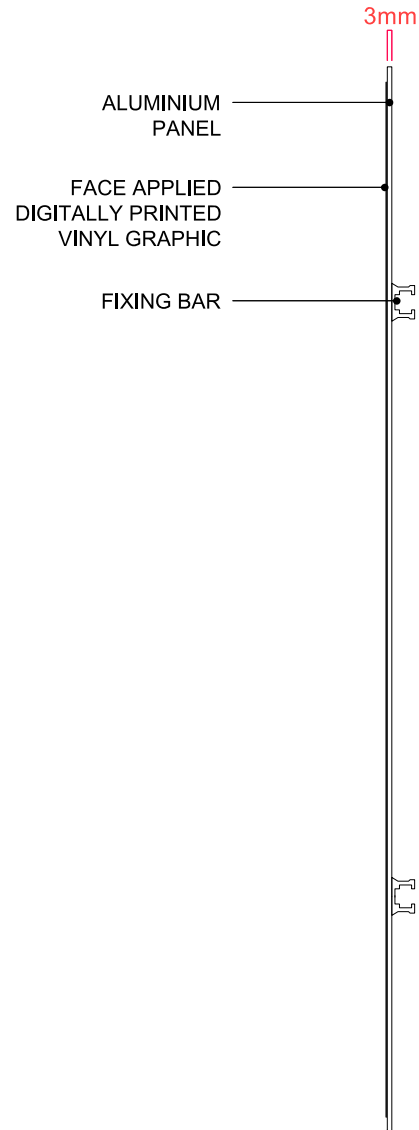
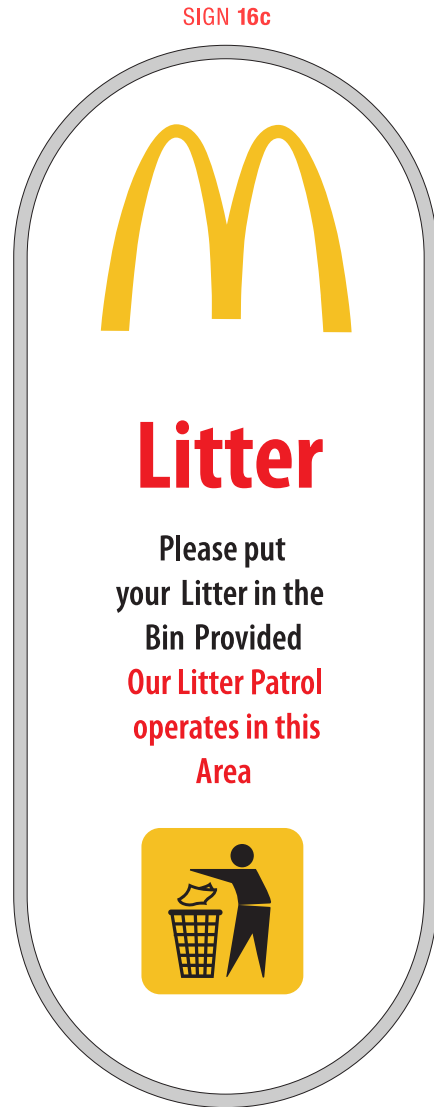
450mm x 300mm



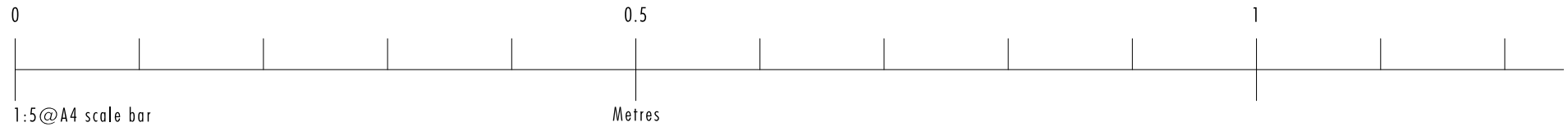
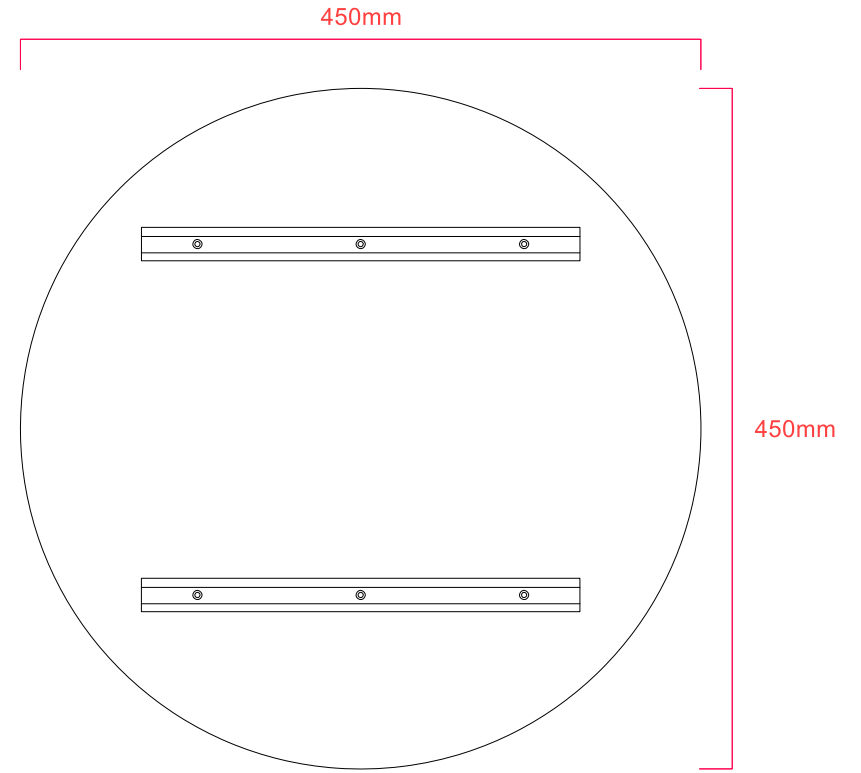
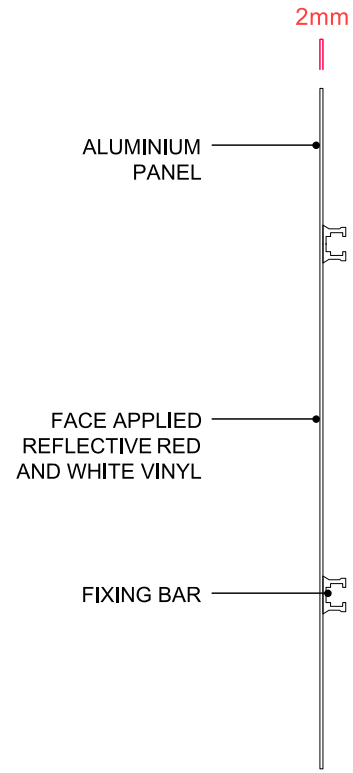
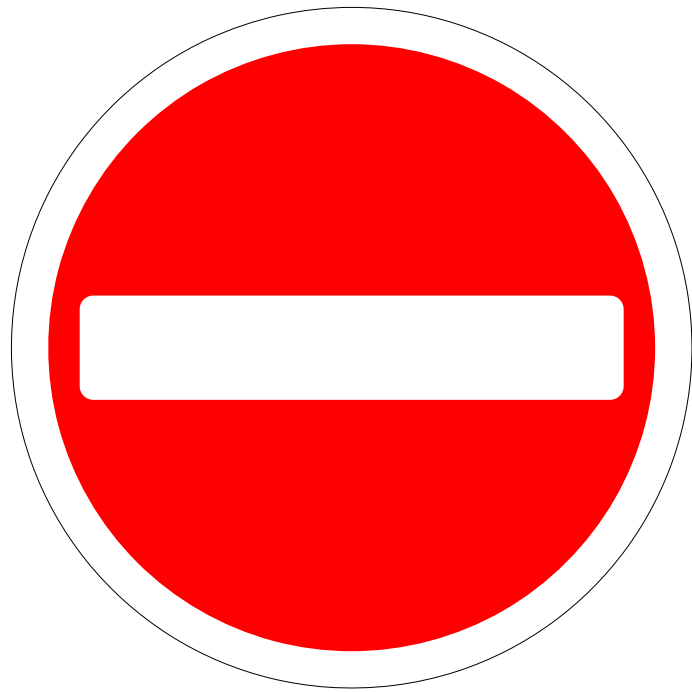
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SIGN 25e

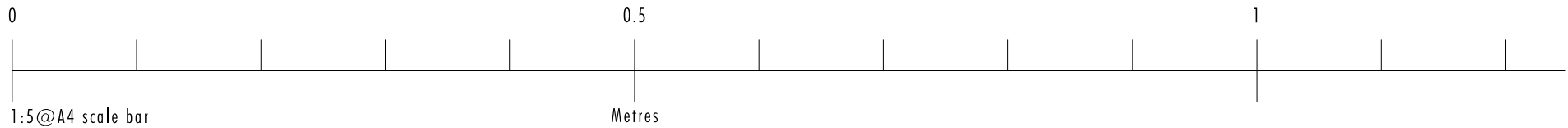
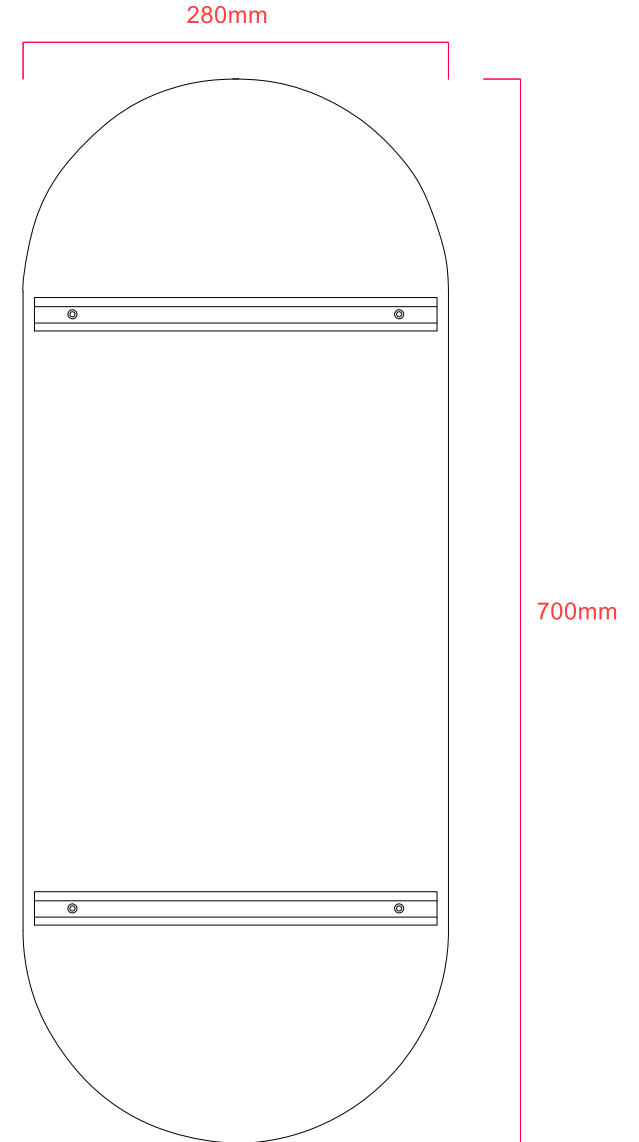
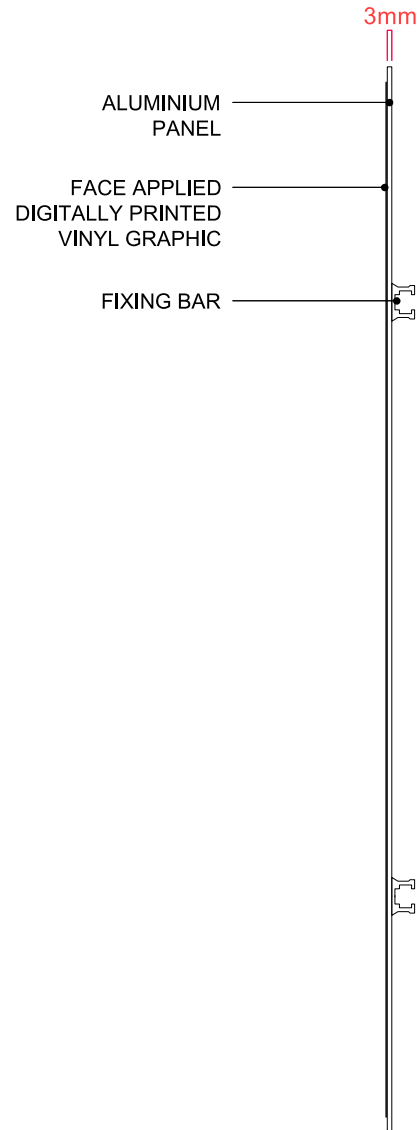
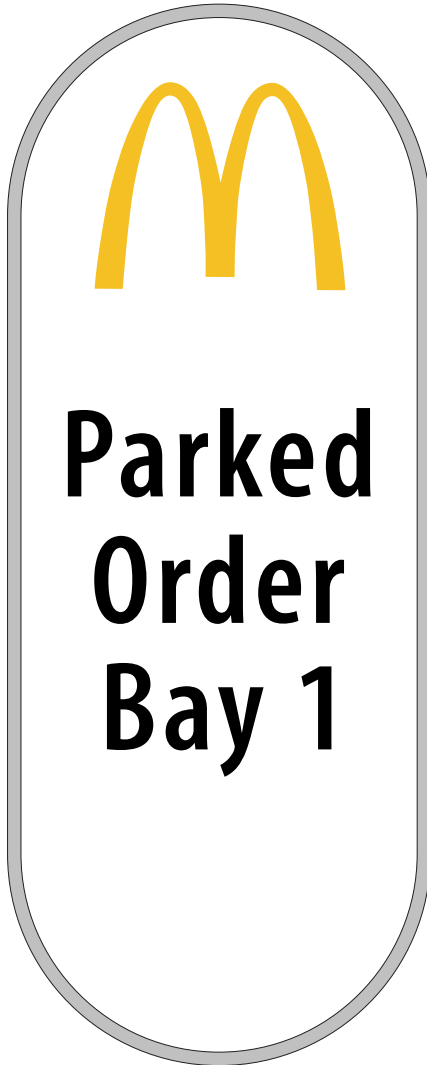


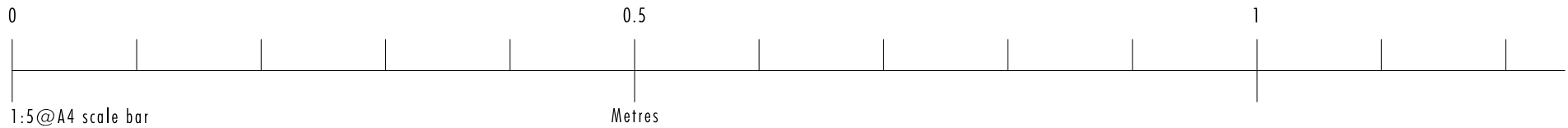
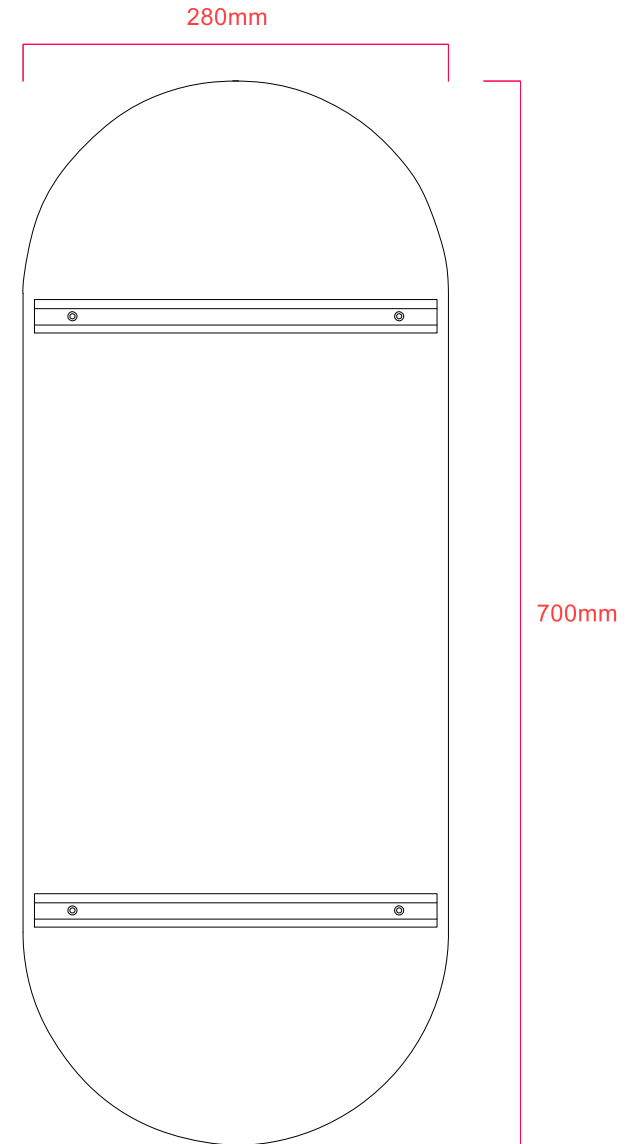
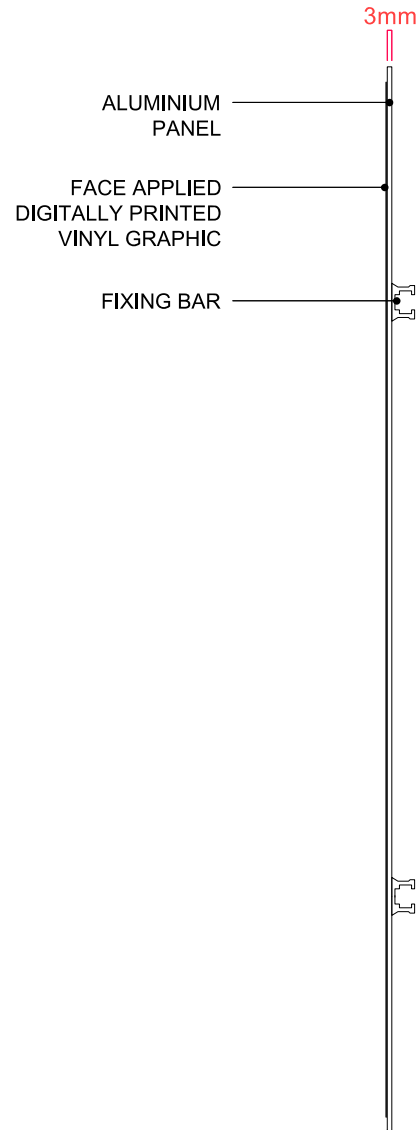
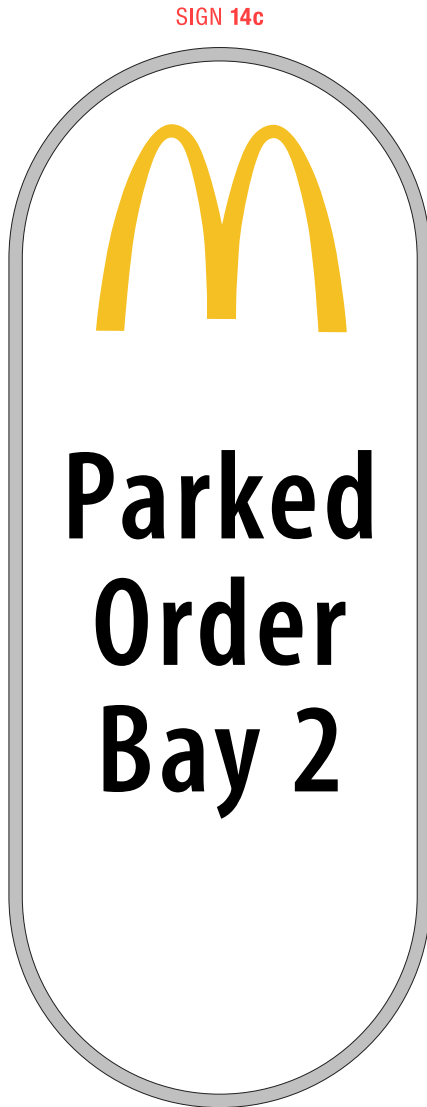


SIGN 25a

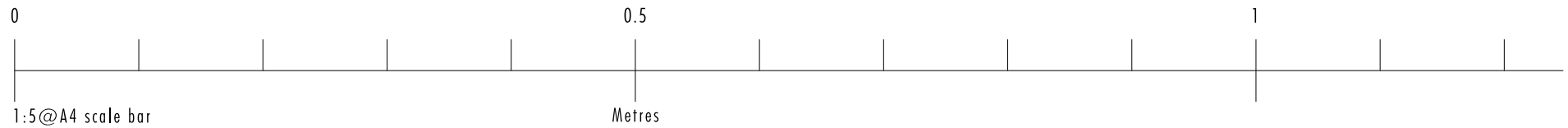
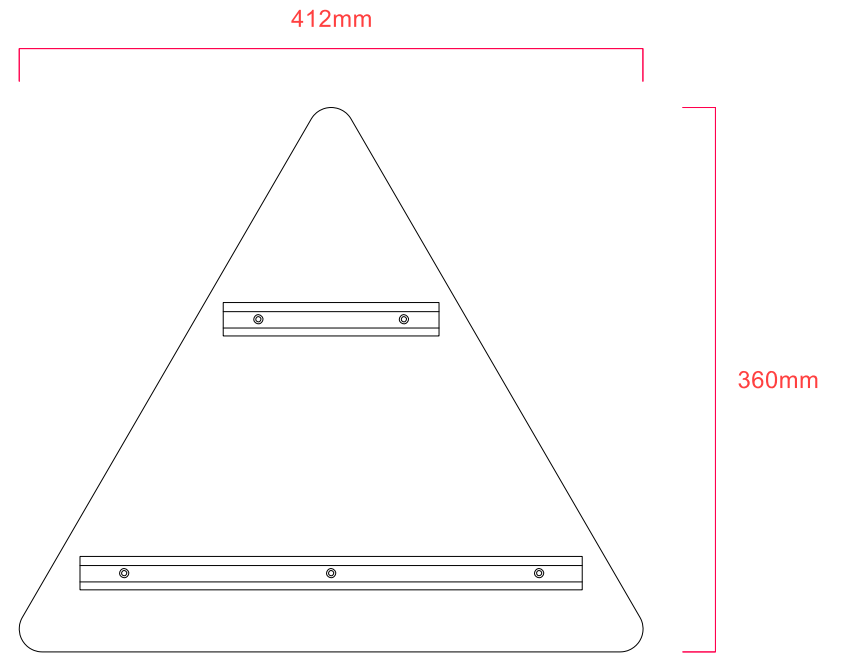
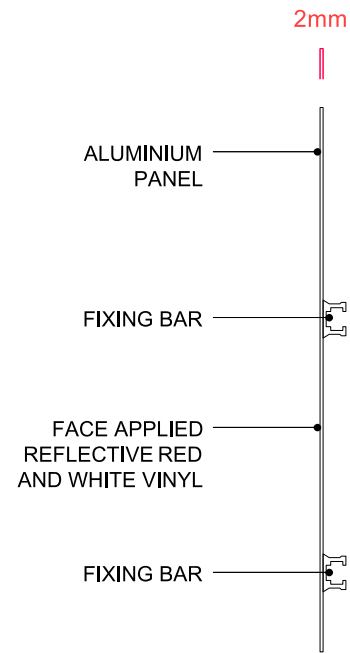


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PETITION

COMMITTEE DATE: 14/08/2019

APPLICATION No. **19/01682/MNR** APPLICATION DATE: 18/06/2019

ED: **PLASNEWYDD**

APP: TYPE: Full Planning Permission

APPLICANT: Wates

LOCATION: SITE OF FORMER CARDIFF SCIENTIFIC LABORATORY,
5-13 CROFTS STREET, ROATH, CARDIFF
PROPOSAL: CONSTRUCTION OF 9 RESIDENTIAL UNITS

RECOMMENDATION 1 : That consent be **GRANTED** subject to the applicant submitting within six months a **Section 106** Agreement that the dwellings be available for Council accommodation and to provide the contributions identified in paragraph 9.1 of this report and the following conditions:

1. C01 Statutory Time Limit
2. The development shall be carried out in accordance with the following plans:-
 - CST-ACM-XX-XX-RP-ZZ-001
 - CST-ACM-XX-XX-RP-ZZ-002(1)
 - CST-ACM-XX-XX-RP-ZZ-003(1)
 - CST-ACM-XX-XX-RP-ZZ-004(1)
 - CST-ACM-XX-XX-RP-ZZ-005 PART 1 OF 3
 - CST-ACM-XX-XX-RP-ZZ-005 PART 2 OF 3
 - CST-ACM-XX-XX-RP-ZZ-005 PART 3 OF 3
 - CST-RSH-XX-00-DR-AR-20110 P03
 - CST-RSH-XX-00-DR-AR-20100 P03
 - CST-RSH-XX-00-DR-AR-20101 P03
 - CST-RSH-XX-00-DR-AR-20111 P03
 - CST-RSH-XX-00-DR-AR-20112 P03
 - CST-RSH-XX-01-DR-AR-20011 P03
 - CST-RSH-XX-01-DR-AR-20010 P03
 - CST-RSH-XX-EW-DR-AR-22010 P03
 - RSHP-J50003-SK-0011 REV 2
 - CST-RSH-XX-EW-DR-AR-22020 P03
 - CST-RSH-XX-EW-DR-AR-22120 P1
 - CST-RSH-XX-RF-DR-AR-20014 P03
 - CST-RSH-XX-XX-DR-AR-21012 P1
 - CST-RSH-XX-XX-DR-AR-21111 P1
 - CST-RSH-XX-XX-DR-AR-27200 P1
 - CST-RSH-XX-XX-DR-AR-60110 P1
 - CST-RSH-XX-XX-RP-AR-00001 PART 2 OF 4

- CST-RSH-XX-XX-RP-AR-00001 PART 3 OF 4
- CST-RSH-XX-XX-RP-AR-00001 PART 4 OF 4
- CST-RSH-XX-XX-RP-AR-00001 PART1 OF 4
- CST-RSH-XX-XX-RP-AR-00003 PART 1 OF 3
- CST-RSH-XX-XX-RP-AR-00003 PART 2 OF 3
- CST-RSH-XX-XX-RP-AR-00003 PART 3 OF 3
- CST-RSH-XX-XX-VS-AR-90002 P1
- CST-RSH-XX-XX-VS-AR-90003 P1
- CST-RSH-XX-XX-VS-AR-90004 P1
- CST-RSH-XX-XX-VS-AR-9001 P1
- CST-RSH-XX-00-DR-AR-20111 P1
- Q112-101 RevJ
- Q112-102 RevJ
- Q112-108 RevJ

Reason: To avoid doubt and confusion as to the approved plans.

3. Prior to the commencement of the development an assessment of the nature and extent of contamination shall be submitted to and approved in writing by the Local Planning Authority. This assessment shall be carried out by or under the direction of a suitably qualified competent person in accordance with BS10175 (2011) Code of Practice for the Investigation of Potentially Contaminated Sites and shall assess any contamination on the site, whether or not it originates on the site.

The report of the findings shall include:

- (i) a desk top study to identify all previous uses at the site and potential contaminants associated with those uses and the impacts from those contaminants on land and controlled waters. The desk study shall establish a 'conceptual site model' (CSM) which identifies and assesses all identified potential source, pathway, and receptor linkages;
- (ii) an intrusive investigation to assess the extent, scale and nature of contamination which may be present, if identified as required by the desk top study;
- (iii) an assessment of the potential risks to:
 - human health,
 - groundwaters and surface waters
 - adjoining land,
 - property (existing or proposed) including buildings, crops, livestock, pets, woodland and service lines and pipes,
 - ecological systems,
 - archaeological sites and ancient monuments; and
 - any other receptors identified at (i)
- (iv) an appraisal of remedial options, and justification for the preferred remedial option(s).

All work and submissions carried out for the purposes of this condition shall be conducted in accordance with DEFRA and the Environment Agency's 'Model procedures for the Management of Land Contamination, CLR 11' (September 2004) and the WLGA / WG / NRW guidance document ' Land Contamination: A guide for Developers' (2017).

Reason: To ensure that information provided for the assessment of the risks from land contamination to the future users of the land, neighbouring land, controlled waters, property and ecological systems is sufficient to enable a proper assessment.(LDP policy EN13)

4. Prior to the commencement of the development a detailed remediation scheme and verification plan to bring the site to a condition suitable for the intended use by removing any unacceptable risks to human health, controlled waters, buildings, other property and the natural and historical environment shall be submitted to and approved in writing by the Local Planning Authority. The scheme shall include all works to be undertaken, proposed remediation objectives and remediation criteria, a timetable of works and site management procedures. The scheme must ensure that the site will not qualify as contaminated land under Part 2A of the Environmental Protection Act 1990 in relation to the intended use of the land after remediation.

All work and submissions carried out for the purposes of this condition shall be conducted in accordance with DEFRA and the Environment Agency's 'Model procedures for the Management of Land Contamination, CLR 11' (September 2004) and the WLGA / WG / NRW guidance document ' Land Contamination: A guide for Developers' (2017).

Reason: To ensure that any unacceptable risks from land contamination to the future users of the land , neighbouring land, controlled waters, property and ecological systems are minimised, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors (LDP policy EN13).

5. The remediation scheme approved by condition 4 above shall be fully undertaken in accordance with its terms prior to the occupation of any part of the development unless otherwise agreed in writing by the Local Planning Authority. The Local Planning Authority shall be given two weeks written notification of commencement of the remediation scheme works.

Within 6 months of the completion of the measures identified in the approved remediation scheme, a verification report that demonstrates the effectiveness of the remediation carried out shall be submitted to and approved in writing by the Local Planning Authority.

All work and submissions carried out for the purposes of this condition must be conducted in accordance with DEFRA and the Environment Agency's 'Model procedures for the Management of Land Contamination, CLR 11' (September 2004) and the WLGA / WG / NRW guidance document ' Land Contamination: A guide for Developers' (2017).

Reason : To ensure that any unacceptable risks from land contamination to the future users of the land, neighbouring land, controlled waters, property and ecological systems are minimised, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors (LDP policy EN13).

6. In the event that contamination is found at any time when carrying out the approved development that was not previously identified it shall be reported in writing within 2 days to the Local Planning Authority, all associated works must stop, and no further development shall take place unless otherwise agreed in writing until a scheme to deal with the contamination found has been approved. An investigation and risk assessment must be undertaken and where remediation is necessary a remediation scheme and verification plans shall be prepared and submitted to and approved in writing by the Local Planning Authority.
Following completion of measures identified in the approved remediation scheme a verification report shall be submitted to and approved in writing by the Local Planning Authority. The timescale for the above actions shall be agreed with the Local Planning Authority within 2 weeks of the discovery of any unsuspected contamination.

Reason: To ensure that any unacceptable risks from land contamination to the future users of the land , neighbouring land, controlled waters, property and ecological systems are minimised, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors in accordance with policy EN13 of the Cardiff Local Development Plan.

7. Any topsoil [natural or manufactured], or subsoil, to be imported shall be assessed for chemical or other potential contaminants in accordance with a scheme of investigation which shall be submitted to and approved in writing by the Local Planning Authority in advance of its importation. Only material approved by the Local Planning Authority shall be imported. All measures specified in the approved scheme shall be undertaken in accordance with the relevant Code of Practice and Guidance Notes.
Subject to approval of the above, sampling of the material received at the development site to verify that the imported soil is free from contamination shall be undertaken in accordance with a scheme and timescale to be agreed in writing by the Local Planning Authority.
Reason: To ensure that the safety of future occupiers is not prejudiced in accordance with policy EN13 of the Cardiff Local Development Plan.
8. Any aggregate (other than virgin quarry stone) or recycled aggregate material to be imported shall be assessed for chemical or other potential contaminants in accordance with a scheme of investigation which shall be submitted to and approved in writing by the Local Planning Authority in advance of its importation. Only material approved by the Local Planning Authority shall be imported. All measures specified in the approved scheme shall be undertaken in accordance with the relevant Code of Practice and Guidance Notes.

Subject to approval of the above, sampling of the material received at the development site to verify that the imported material is free from contamination shall be undertaken in accordance with a scheme and timescale to be agreed in writing by the Local Planning Authority.

Reason: To ensure that the safety of future occupiers is not prejudiced in accordance with policy EN13 of the Cardiff Local Development Plan.

9. Any site won material including soils, aggregates, recycled materials shall be assessed for chemical or other potential contaminants in accordance with a sampling scheme which shall be submitted to and approved in writing by the Local Planning Authority in advance of the reuse of site won materials. Only material which meets site specific target values approved by the Local Planning Authority shall be reused.

Reason: To ensure that the safety of future occupiers is not prejudiced (LDP Policy EN13).

10. The rear side boundary means of enclosure to the northern dwelling shall be finished in brick to match the approved rear boundary walls.

Reason: In the interests of visual amenity and security (LDP policies KP5 and C3).

11. No development shall take place until full details of soft landscaping have been submitted to and approved in writing by the Local Planning Authority. These details shall include:

- A landscaping implementation programme.
- Finalised scaled planting plan.
- Evidence to demonstrate that services including drainage will not conflict with proposed planting.
- Finalised schedule of plant species, sizes, numbers and densities.
- Finalised, scaled tree pit sectional and plan drawings for soft landscape and hard landscape situations that show the Root Available Soil Volume for each tree.
- Topsoil and subsoil specification for all planting types that demonstrates fitness for purpose for the specific landscape function. Site won soils shall only be used if a Soil Resource Survey and Plan demonstrates fitness for purpose. Imported planting soils shall not only be certifiable to British Standard 3882:2015 (topsoil) and British Standard 8601:2013 (subsoil), but shall be subject to a soil scientists interpretive report demonstrating that the soil is appropriate for the landscaping type(s) proposed. The specification shall be supported by a methodology for handling, amelioration and placement.
- Planting methodology and post-planting aftercare methodology, including full details of how the landscape architect will oversee landscaping implementation and report to the LPA to confirm compliance with the approved plans and specifications.

The submitted details shall be consistent with other plans submitted in support of the application and the landscaping shall be carried out in accordance with the approved design and implementation programme.

Reason: To enable the Local Planning Authority to determine that the proposals will maintain and improve the amenity and environmental value of the area, and to monitor compliance (LDP policy KP5).

12. Any newly planted trees, plants or hedgerows, which within a period of 5 years from the completion of the development die, are removed, become seriously damaged or diseased, or in the opinion of the Local Planning Authority otherwise defective, shall be replaced.
Replacement planting shall take place during the first available planting season, to the same specification approved in discharge of condition 11.
Reason: To maintain and improve the amenity and environmental value of the area (LDP policy KP5).

13. No development shall take place until the following have been submitted to and approved in writing by the Local Planning Authority (LPA) in accordance with the current British Standard 5837:
- An Arboricultural Method Statement (AMS) based on the finalised plans and specifications, detailing the methods to be used to prevent loss of or damage to the retained river birch tree on Partridge Road.

The AMS shall include details of site monitoring of tree protection and tree condition by a qualified arboriculturist, undertaken throughout the development and after its completion, to monitor tree condition. This shall include the preparation of a chronological programme for site monitoring and production of site reports, to be sent to the LPA during the different phases of development and demonstrating how the approved tree protection measures have been complied with.

- A Tree Protection Plan (TPP) in the form of a scale drawing showing the finalised layout and the tree and tree protection methods detailed in the AMS that can be shown graphically.

The development shall be carried out in full conformity with the approved AMS and TPP.

Reason: To enable the Local Planning Authority to assess the effects of the proposals on existing trees and landscape; the measures for their protection; to monitor compliance and to make good losses (LDP policy KP5).

14. Prior to development commencing details showing the provision of cycle parking spaces, and appropriate access to them, shall be submitted to and approved in writing by the local planning authority. The approved details shall be implemented prior to the development being brought into beneficial use. Thereafter the cycle parking spaces shall be maintained and shall not be used for any other purpose.
Reason: To ensure that adequate provision is made for the sheltered and secure parking of cycles (LDP policy T1).

15. Prior to development commencing details of a highways improvement scheme for Quail Court, Elm Street Lane and Croft Street shall be submitted

to and approved in writing by the Local Planning Authority. This shall include details of footway resurfacing/improvement, provision of a shared surface area for parts of Quail Court and Elm Street Lane, stopping up of the former access into the site, and provision of a build-out on Croft Street. Those agreed details shall be implemented prior to any part of the development being brought into beneficial use.

Reason: To ensure that the use of the proposed development does not interfere with the safety of traffic or pedestrian accessibility (LDP policy KP5).

16. Prior to commencement of each phase of development a scheme of construction management shall be submitted to and approved by the Local Planning Authority to include details of construction traffic routes, times of deliveries, loading/unloading and storage of plant and materials, construction compounds, any temporary facilities for construction / sales staff, site hoardings (including the erection, maintenance and security), site access, wheel washing facilities, and details of a carpark for contractors vehicles. The development construction of the relevant phase shall be managed strictly in accordance with the scheme so approved.

Reason: In the interests of highway safety and public amenity (LDP policy KP5).

17. No development shall commence until a foul drainage scheme for the site has been submitted to and approved in writing by the Local Planning Authority. The scheme shall demonstrate how the site will be effectively drained and how flows will communicate to the public sewerage system. Thereafter, the scheme shall be implemented in accordance with the approved details prior to the occupation of the development with no surface water or land drainage allowed to connect directly or indirectly with the public sewerage system.

Reason: To prevent hydraulic overloading of the public sewerage system, to protect the health and safety of existing residents and ensure no pollution of or detriment to the environment (LDP EN11).

RECOMMENDATION 2 : To protect the amenities of occupiers of other premises in the vicinity attention is drawn to the provisions of Section 60 of the Control of Pollution Act 1974 in relation to the control of noise from demolition and construction activities. Further to this the applicant is advised that no noise audible outside the site boundary adjacent to the curtilage of residential property shall be created by construction activities in respect of the implementation of this consent outside the hours of 0800-1800 hours Mondays to Fridays and 0800 - 1300 hours on Saturdays or at any time on Sunday or public holidays. The applicant is also advised to seek approval for any proposed piling operations.

RECOMMENDATION 3 : The contamination assessments and the effects of unstable land are considered on the basis of the best information available to the Planning Authority and are not necessarily exhaustive. The Authority takes due diligence when assessing these impacts, however you are minded that the responsibility for

- (i) determining the extent and effects of such constraints;

- (ii) ensuring that any imported materials (including, topsoils, subsoils, aggregates and recycled or manufactured aggregates/ soils) are chemically suitable for the proposed end use. Under no circumstances should controlled waste be imported. It is an offence under Section 33 of the Environmental Protection Act 1990 to deposit controlled waste on a site which does not benefit from an appropriate waste management license. The following must not be imported to a development site;
- Unprocessed / unsorted demolition wastes.
 - Any materials originating from a site confirmed as being contaminated or potentially contaminated by chemical or radioactive substances.
 - Japanese Knotweed stems, leaves and rhizome infested soils. In addition to section 33 above, it is also an offence under the Wildlife and Countryside Act 1981 to spread this invasive weed; and
- (iii) the safe development and secure occupancy of the site rests with the developer.

Proposals for areas of possible land instability should take due account of the physical and chemical constraints and may include action on land reclamation or other remedial action to enable beneficial use of unstable land. The Local Planning Authority has determined the application on the basis of the information available to it, but this does not mean that the land can be considered free from contamination.

1. **DESCRIPTION OF PROPOSED DEVELOPMENT**

- 1.1 The proposal is to erect 9 two bedroom terraced dwellings on a site that accommodated 9 terraced dwellings before their destruction from war damage. The proposed houses would be two storeys high with flat roofs. The original terrace immediately adjoined the footpath to the front. Each dwelling would have a front garden (5m x 3.5m) and a larger rear garden (5m x 9m).
- 1.2 Some 95% of the dwellings will be assembled off site. The first floor cladding will be finished in a contemporary version of beige render and painted brick with the ground floor walls in red stock brick.
- 1.3 Pedestrian access to the front of the dwellings would be from Crofts Street and access to the rear gardens, incorporating bin storage and cycle sheds, would be from Quail Lane. (Initially the rear gates were shown as opening into Quail Lane but this has since been amended and now shows the gates opening inwards).
- 1.4 Ground and first floor side facing windows are proposed for the end units adjoining Partridge Road and Elm Street Lane.
- 1.5 All the proposed dwellings would be affordable. The proposal is a partnership scheme between Housing and Wates to deliver 1500 new homes across Cardiff

2. **DESCRIPTION OF SITE**

- 2.1 The site is opposite The Crofts public house and is surrounded by two storey terrace dwellings. Most of the dwellings in the surrounding streets have no off street vehicular parking. The site has been cleared of the previous buildings and is level. There is a cherry tree within the site.
- 2.2 The site is rectangular in shape and measures 48 m x 25 m.

3. **PLANNING HISTORY**

- 3.1 Planning history on this site since 1997 comprises the following:-

15/00487/MNR Prior Approval for the demolition of the laboratory building on this site was granted on 18/05/2015

4. **PLANNING POLICIES**

- 4.1 It is considered that the following LDP policies are relevant to this development:-

KP3 (B) Within the Settlement Boundary
KP5 Good Quality and Sustainable Design
KP6 New Infrastructure
KP7 Planning obligations
KP8 Sustainable Transport
KP14 Healthy Living
KP15 Climate Change
H3 Affordable Housing
H6 Change of Use or Redevelopment to Residential Use
EN8 Trees, Woodlands and Hedgerows
EN12 Renewable Energy and Low Carbon Technologies
EN13 Air, Noise, Light Pollution and Contaminated Land
T1 Walking and Cycling
T5 Managing Transport Impacts
T6 Impact on Transport Networks and Services
C1 Community Facilities
C3 Community Safety/Creating Safe Environments;
C5 Provision for Open Space, Outdoor Recreation, Children's Play and Sport
C6 Health
W2 Provision for Waste Management Facilities in Development.

- 4.2 It is considered that the following SPGs are relevant to this development:-

Green Infrastructure
Managing Transportation Impacts (Including Parking Standards)
Planning Obligations
Protection and Provision of Open Space in New Development
Residential Design Guide
Soils and Development

5. **INTERNAL CONSULTEES RESPONSES**

5.1 Shared Regulatory Services say that

In reviewing available records and the application for the proposed development, the site has been identified as the former Cardiff Council Laboratory site. Activities associated with this use may have caused the land to become contaminated and therefore may give rise to potential risks to human health and the environment for the proposed end use. Consequently the inclusion of conditions requiring contamination assessment and any necessary remediation are requested.

Should there be any importation of soils to develop the garden/landscaped areas of the development, or any site won recycled material, or materials imported as part of the construction of the development, then it must be demonstrated that they are suitable for the end use. This is to prevent the introduction or recycling of materials containing chemical or other potential contaminants which may give rise to potential risks to human health and the environment for the proposed end use.

Shared Regulatory Services would request the inclusion of the following conditions and informative statements in accordance with CIEH best practice and to ensure that the safety of future occupiers is not prejudiced in accordance with policy EN13 of the Cardiff Local Development Plan:

CONDITIONS

PC14A. CONTAMINATED LAND MEASURES – ASSESSMENT

Prior to the commencement of the development an assessment of the nature and extent of contamination shall be submitted to and approved in writing by the Local Planning Authority. This assessment must be carried out by or under the direction of a suitably qualified competent person * in accordance with BS10175 (2011) Code of Practice for the Investigation of Potentially Contaminated Sites and shall assess any contamination on the site, whether or not it originates on the site.

The report of the findings shall include:

- (i) a desk top study to identify all previous uses at the site and potential contaminants associated with those uses and the impacts from those contaminants on land and controlled waters. The desk study shall establish a 'conceptual site model' (CSM) which identifies and assesses all identified potential source, pathway, and receptor linkages;
- (ii) an intrusive investigation to assess the extent, scale and nature of contamination which may be present, if identified as required by the desk top study;
- (iii) an assessment of the potential risks to:
 - human health,
 - groundwaters and surface waters
 - adjoining land,

- property (existing or proposed) including buildings, crops, livestock, pets, woodland and service lines and pipes,
 - ecological systems,
 - archaeological sites and ancient monuments; and
 - any other receptors identified at (i)
- (iv) an appraisal of remedial options, and justification for the preferred remedial option(s).

All work and submissions carried out for the purposes of this condition must be conducted in accordance with DEFRA and the Environment Agency's 'Model procedures for the Management of Land Contamination, CLR 11' (September 2004) and the WLGA / WG / NRW guidance document ' Land Contamination: A guide for Developers' (2017), unless the Local Planning Authority agrees to any variation.

* A 'suitably qualified competent person' would normally be expected to be a chartered member of an appropriate professional body (such as the Institution of Civil Engineers, Geological Society of London, Royal Institution of Chartered Surveyors, Institution of Environmental Management) and also have relevant experience of investigating contaminated sites.

Reason: To ensure that information provided for the assessment of the risks from land contamination to the future users of the land, neighbouring land, controlled waters, property and ecological systems is sufficient to enable a proper assessment.

PC14B. CONTAMINATED LAND MEASURES – REMEDIATION & VERIFICATION PLAN

Prior to the commencement of the development a detailed remediation scheme and verification plan to bring the site to a condition suitable for the intended use by removing any unacceptable risks to human health, controlled waters, buildings, other property and the natural and historical environment shall be submitted to and approved in writing by the Local Planning Authority. The scheme shall include all works to be undertaken, proposed remediation objectives and remediation criteria, a timetable of works and site management procedures. The scheme must ensure that the site will not qualify as contaminated land under Part 2A of the Environmental Protection Act 1990 in relation to the intended use of the land after remediation.

All work and submissions carried out for the purposes of this condition must be conducted in accordance with DEFRA and the Environment Agency's 'Model procedures for the Management of Land Contamination, CLR 11' (September 2004) and the WLGA / WG / NRW guidance document ' Land Contamination: A guide for Developers' (2017),, unless the Local Planning Authority agrees to any variation.

Reason: To ensure that any unacceptable risks from land contamination to the future users of the land , neighbouring land, controlled waters, property and ecological systems are minimised, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors.

PC14C. CONTAMINATED LAND MEASURES - REMEDIATION & VERIFICATION

The remediation scheme approved by condition x (PC14B above) must be fully undertaken in accordance with its terms prior to the occupation of any part of the development unless otherwise agreed in writing by the Local Planning Authority. The Local Planning Authority must be given two weeks written notification of commencement of the remediation scheme works.

Within 6 months of the completion of the measures identified in the approved remediation scheme, a verification report that demonstrates the effectiveness of the remediation carried out must be submitted to and approved in writing by the Local Planning Authority.

All work and submissions carried out for the purposes of this condition must be conducted in accordance with DEFRA and the Environment Agency's 'Model procedures for the Management of Land Contamination, CLR 11' (September 2004) and the WLGA / WG / NRW guidance document ' Land Contamination: A guide for Developers' (2017), unless the Local Planning Authority agrees to any variation.

Reason : To ensure that any unacceptable risks from land contamination to the future users of the land , neighbouring land, controlled waters, property and ecological systems are minimised, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors.

PC14D. CONTAMINATED LAND MEASURES – UNFORESEEN CONTAMINATION

In the event that contamination is found at any time when carrying out the approved development that was not previously identified it must be reported in writing within 2 days to the Local Planning Authority, all associated works must stop, and no further development shall take place unless otherwise agreed in writing until a scheme to deal with the contamination found has been approved. An investigation and risk assessment must be undertaken and where remediation is necessary a remediation scheme and verification plan must be prepared and submitted to and approved in writing by the Local Planning Authority. Following completion of measures identified in the approved remediation scheme a verification report must be submitted to and approved in writing by the Local Planning Authority. The timescale for the above actions shall be agreed with the LPA within 2 weeks of the discovery of any unsuspected contamination.

Reason: To ensure that any unacceptable risks from land contamination to the future users of the land , neighbouring land, controlled waters, property and ecological systems are minimised, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors in accordance with policy EN13 of the Cardiff Local Development Plan.

PC15A IMPORTED SOIL

Any topsoil [natural or manufactured], or subsoil, to be imported shall be

assessed for chemical or other potential contaminants in accordance with a scheme of investigation which shall be submitted to and approved in writing by the Local Planning Authority in advance of its importation. Only material approved by the Local Planning Authority shall be imported. All measures specified in the approved scheme shall be undertaken in accordance with the relevant Code of Practice and Guidance Notes.

Subject to approval of the above, sampling of the material received at the development site to verify that the imported soil is free from contamination shall be undertaken in accordance with a scheme and timescale to be agreed in writing by the LPA.

Reason: To ensure that the safety of future occupiers is not prejudiced in accordance with policy EN13 of the Cardiff Local Development Plan.

PC15B IMPORTED AGGREGATES

Any aggregate (other than virgin quarry stone) or recycled aggregate material to be imported shall be assessed for chemical or other potential contaminants in accordance with a scheme of investigation which shall be submitted to and approved in writing by the Local Planning Authority in advance of its importation. Only material approved by the Local Planning Authority shall be imported. All measures specified in the approved scheme shall be undertaken in accordance with the relevant Code of Practice and Guidance Notes.

Subject to approval of the above, sampling of the material received at the development site to verify that the imported material is free from contamination shall be undertaken in accordance with a scheme and timescale to be agreed in writing by the LPA.

Reason: To ensure that the safety of future occupiers is not prejudiced in accordance with policy EN13 of the Cardiff Local Development Plan.

PC15C USE OF SITE WON MATERIALS

Any site won material including soils, aggregates, recycled materials shall be assessed for chemical or other potential contaminants in accordance with a sampling scheme which shall be submitted to and approved in writing by the Local Planning Authority in advance of the reuse of site won materials. Only material which meets site specific target values approved by the Local Planning Authority shall be reused.

Reason: To ensure that the safety of future occupiers is not prejudiced.

ADVISORY/INFORMATIVE

R4 CONTAMINATION AND UNSTABLE LAND ADVISORY NOTICE

The contamination assessments and the effects of unstable land are considered on the basis of the best information available to the Planning Authority and are not necessarily exhaustive. The Authority takes due diligence when assessing these impacts, however you are minded that the responsibility for

- (i) determining the extent and effects of such constraints;
- (ii) ensuring that any imported materials (including, topsoils, subsoils, aggregates and recycled or manufactured aggregates/ soils) are chemically suitable for the proposed end use. Under no circumstances should controlled waste be imported. It is an offence under Section 33 of the

Environmental Protection Act 1990 to deposit controlled waste on a site which does not benefit from an appropriate waste management license. The following must not be imported to a development site;

- Unprocessed / unsorted demolition wastes.
 - Any materials originating from a site confirmed as being contaminated or potentially contaminated by chemical or radioactive substances.
 - Japanese Knotweed stems, leaves and rhizome infested soils. In addition to section 33 above, it is also an offence under the Wildlife and Countryside Act 1981 to spread this invasive weed; and
- (iii) the safe development and secure occupancy of the site rests with the developer.

Proposals for areas of possible land instability should take due account of the physical and chemical constraints and may include action on land reclamation or other remedial action to enable beneficial use of unstable land.

The Local Planning Authority has determined the application on the basis of the information available to it, but this does not mean that the land can be considered free from contamination.

5.2 Waste Officer states:

The bins can be stored in the rear garden of each property as they all have rear access. Bins can be presented for collection either on Croft Street or Partridge Road.

Each property will require the following for recycling and waste collections:

- 1 x 140 litre bin for general waste
- 1 x 240 litre bin for garden waste
- 1 x 25 litre kerbside caddy for food waste
- Green bags for mixed recycling (equivalent to 140 litres)

The storage of which must be sensitively integrated into the design.

Please advise the owner/applicant that since 27th July 2015, the developers of all new residential units are required to purchase the bin provision required for each unit. The bins have to meet the Council's specifications and can be purchased directly by contacting the Waste Management Team on 029 20717500.

The kitchen should be designed to allow the separation of waste into three waste streams; general, recycling and food waste, in order to encourage the correct disposal of waste.

Please refer the agent/architect to the Waste Collection and Storage Facilities Supplementary Planning Guidance (2016) for further relevant information.

5.3 The Tree Officer states

An unprotected 'B' category cherry tree (T1) is lost as part of development and a

'B' category river birch tree (T2) will see incursions into its Root Protection Area (RPA) and a requirement for pruning by 1.5m to give clearance to facilitate access for a proposed structure. I am content that the loss of T1 can be mitigated.

My comments regarding the build-out tree pit are as follows: -

The approximate locations of CATV, Electrics and mains water are noted along with a root barrier. It is important that it is clear that neither the root barrier or services will compromise the volume of root available soil, so some clarification and explanation in this regard would be helpful.

The Root Rain product, tree grille product and anchoring product should be specified for the avoidance of doubt.

I note the single Arborvent inlet in section, but three in plan-view. A minimum of two should be provided and I seek clarification.

The RootRain inlet should be clear in plan-view. Two other inlets are apparent in plan-view (Hydrogrille).

It should be clear that the root director and upper cell layer will be backfilled with GreenBlue Urban Rootsoil 20 topsoil and the bottom cell layer back-filled with GreenBlue Urban Rootsoil 20 subsoil.

The tree should be annotated to be 'compliant with Table 1, p.21, BS 8545:2014'.

The root-ball should be annotated 'all non-perishable wrappings and cages removed before planting, to include treated hessian. Single layer untreated hessian and narrow gauge non-galvanized baskets may be retained until tree in position, and then the upper third of hessian and basket removed at the same time as back-filling to support the root-ball'.

I have no adverse observations otherwise. If you are intending to take the application forward imminently and to apply conditions to obtain further details, then something along the lines of the following would be appropriate: -

Landscaping

No development shall take place until full details of soft landscaping have been submitted to and approved in writing by the Local Planning Authority. These details shall include:

- A landscaping implementation programme.
- Finalised scaled planting plan.
- Evidence to demonstrate that services including drainage will not conflict with proposed planting.
- Finalised schedule of plant species, sizes, numbers and densities.
- Finalised, scaled tree pit sectional and plan drawings for soft landscape and hard landscape situations that show the Root Available Soil Volume for each tree.

- Topsoil and subsoil specification for all planting types that demonstrates fitness for purpose for the specific landscape function. Site won soils shall only be used if a Soil Resource Survey and Plan demonstrates fitness for purpose. Imported planting soils shall not only be certifiable to British Standard 3882:2015 (topsoil) and British Standard 8601:2013 (subsoil), but shall be subject to a soil scientists interpretive report demonstrating that the soil is appropriate for the landscaping type(s) proposed. The specification shall be supported by a methodology for handling, amelioration and placement.
- Planting methodology and post-planting aftercare methodology, including full details of how the landscape architect will oversee landscaping implementation and report to the LPA to confirm compliance with the approved plans and specifications.

The submitted details shall be consistent with other plans submitted in support of the application and the landscaping shall be carried out in accordance with the approved design and implementation programme.

Reason: To enable the Local Planning Authority to determine that the proposals will maintain and improve the amenity and environmental value of the area, and to monitor compliance.

Landscaping Maintenance

Any newly planted trees, plants or hedgerows, which within a period of 5 years from the completion of the development die, are removed, become seriously damaged or diseased, or in the opinion of the Local Planning Authority (LPA) otherwise defective, shall be replaced.

Replacement planting shall take place during the first available planting season, to the same specification approved in discharge of condition ***** , unless the Local Planning Authority gives written consent to any variation.

Reason: To maintain and improve the amenity and environmental value of the area.

Tree protection

No development shall take place until the following have been submitted to and approved in writing by the Local Planning Authority (LPA) in accordance with the current British Standard 5837:

- An Arboricultural Method Statement (AMS) based on the finalised plans and specifications, detailing the methods to be used to prevent loss of or damage to the retained river birch tree on Partridge Road.

The AMS shall include details of site monitoring of tree protection and tree condition by a qualified arboriculturist, undertaken throughout the development and after its completion, to monitor tree condition. This shall include the preparation of a chronological programme for site monitoring and production of site reports, to be sent to the LPA during the different phases of development and demonstrating how the approved tree protection measures have been complied with.

- A Tree Protection Plan (TPP) in the form of a scale drawing showing the finalised layout and the tree and tree protection methods detailed in the AMS that can be shown graphically.

Unless written consent is obtained from the LPA, the development shall be carried out in full conformity with the approved AMS and TPP.

Reason: To enable the Local Planning Authority to assess the effects of the proposals on existing trees and landscape; the measures for their protection; to monitor compliance and to make good losses.

5.4 The Housing Officer has confirmed that the development is 100% affordable.

5.5 The Parks Officer states:

Design Comments

The street trees around the development, including T2, are highway trees under management responsibility of Parks Tree Section. Therefore minimising impact on the root protect area of T2 is particularly important as due to services and other restrictions on this area re-establishing new trees is challenging. I agree with the Tree Officer that the root system is likely to extend within the site (except where the existing buildings were) and the root system of birches are particularly sensitive. Use of gravel or cellweb with no dig construction is reasonable – we have successfully used cellweb in a number of schemes. I agree that the details need to be set out in the Arboricultural Method Statement, final Tree Protection Plan and scheme of supervision of the work. My main concern is whether the surfacing would subsequently be changed by the homeowner once they have taken occupation, so the design should take this into consideration to discourage them excavating the area at a later date.

Given that there are proposals to resurface the existing pavement around the tree I would advise that a solution used in a number of areas of Cardiff is implemented. This involves use of KBI rubber surfacing within aluminium edging. This increases aeration and water access to the roots and is a flexible surface; it also ensures that tarmac surfacing is not laid up to the trunk. Technical details and an image are attached to the Planning response.

The additional proposed tree located in the buildout is welcome. I agree with the comments made by the Tree Officer with regard to design and soil volume required. Establishing location of services including drainage at this stage is essential to determine whether there is sufficient rooting capacity within cells for the tree – it needs to be established whether it is possible to implement the tree planting at this stage as it is a material part of the scheme. I echo the Tree Officer comments that the majority of the cells need to be within the pavement or buildout and not the road and agree that securing aeration and irrigation points in the carriageway is likely to prove difficult to agree with Highways. I presume the size and location of the buildout is acceptable to Highways.

I presume that resurfacing the pavement and the buildout would be carried out under a S278 Highway scheme. For the Council to oversee installation of the new tree and adopt it for long term maintenance a 20 year commuted sum and

supervisory fee would be required.

Open Space Provision

These comments relate to the current LDP (C5 Provision for Open Space, Outdoor Recreation, Children's Play and Sport; KP16 Green Infrastructure), and the 2017 Planning Obligations Supplementary Planning Guidance (SPG), supported by policies set out in the 2008 SPG for Open Space which set the Council's approach to open space provision.

The Council's LDP requires provision of a satisfactory level and standard of open space on all new housing/student developments, or an off-site contribution towards existing open space for smaller scale developments where new on-site provision is not applicable.

Based on the information provided on the number and type of units, I have calculated the additional population generated by the development to be 16.2. This generates an open space requirement of 0.039 ha of on-site open space based on the criteria set for Housing accommodation, or an off-site contribution of £16,808. I enclose a copy of the calculation

As no public open space is being provided on-site, the developers will be required to make a financial contribution towards the provision of new open space, or the design, improvement and/or maintenance of existing open space in the locality, given that demand for usage of the existing open spaces would increase in the locality as a result of the development.

The use of S106 contribution from this development will need to satisfy CIL and the current distance requirements set out in the 2017 Planning Obligations SPG – play areas 600m (not applicable to student and sheltered accommodation), informal recreation 1000m, and formal recreation 1500mm, measured from edge of the site.

In the event that the Council is minded to approve the application, I assume it will be necessary for the applicant and the Council to enter into a Section 106 Agreement to secure payment of the contribution.

Consultation will take place with Ward Members to agree use of the contribution, and this will be confirmed at S106 stage. The closest areas of recreational open space are Shelley Gardens, Roath Mill, Roath Brook and Waterloo Gardens, and Roath Rec.

(The Tree Officer's comments were amended following the submission of revisions by the applicant).

5.6 The Transport officer states:

There will be no dedicated vehicle parking, and cycle parking will be provided in sheds at the rear of the dwellings (backing onto Quail Court).

In order to ensure that no traffic/safety issues arise from the development, and

noting that no vehicle parking is to be provided, it will be necessary for a road/footway improvement scheme to be undertaken on Elm Street Lane/Quail Court, to involve the provision of improved surfacing, a shared surface area, and extended parking restrictions (including on Elm Street Lane and most of Quail Court). The parking restrictions would need to be the subject of a TRO process. Figure 3.1 of the submitted Transport Statement report provides an indication of the extent of extended parking restrictions that will be sought. Whilst there is some uncontrolled on-street car parking in the vicinity there is also some resident permit parking, and residents of the new development would not be eligible for these permits. These works would be dealt with via a Section 278 agreement (to be referenced with an informative) and a planning condition (wording below).

The submitted plans indicated a build out/tree on the eastern side of Croft Street (opposite Lily Street). Due to utility issues the applicant has subsequently proposed that this is relocated further south (adjacent to Elm Street Lane). This is considered to be acceptable in-principle, and would be covered by the works condition below.

Each 2-bedroom dwelling would need to provide a minimum of 2 cycle parking spaces. The plans indicate a cycle shed in each of the gardens, providing access to a rear gate backing onto Quail Court. No details of the provision are set out, but it is considered there is space on each plot to provide the required parking, and the suggested wording is provided below.

We request a Section 106 contribution of £12,000 to deal with the TRO process for the proposed extension of parking restrictions.

Requested planning conditions are below. Can a standard Construction Management one also be added.

Prior to development commencing details showing the provision of cycle parking spaces, and appropriate access to them, shall be submitted to and approved in writing by the local planning authority. The approved details shall be implemented prior to the development being put into beneficial use. Thereafter the cycle parking spaces shall be maintained and shall not be used for any other purpose.

Reason: To ensure that adequate provision is made for the sheltered and secure parking of cycles.

Prior to development commencing details of a highways improvement scheme for Quail Court, Elm Street Lane and Croft Street shall be submitted to and approved in writing by the Local Planning Authority. This shall include details of footway resurfacing/improvement, provision of a shared surface area for parts of Quail Court and Elm Street Lane, stopping up of the former access into the site, and provision of a build-out on Croft Street. Those agreed details shall be implemented prior to the development being put into beneficial use.

Reason: To ensure that the use of the proposed development does not interfere with the safety of traffic or pedestrian accessibility.

6. **EXTERNAL CONSULTEES RESPONSES**

6.1 Wales and West Utilities have submitted a plan showing their gas pipelines outside the application site.

6.2 (a) South Wales Police state:

South Wales Police have no objection in principle but made several comments in consultation stage which are reflected pre-application planning report.

South Wales Police would point out to developers that all affordable/social housing in Wales needs to comply with SBD Gold standard as part of Welsh Governments housing Quality Standards.

Further information on requirements of new Homes 2016 can be found at www.securedbydesign.com

(b) The Police submitted further comments stating I have now been provided with a copy of the Design and access statement by developers which shows how they have addressed community safety issues and have received an application for Secured by Design.

I can confirm that South Wales Police will be happy to work with developers to achieve the Secured by Design award.

6.3 Welsh Water states:

We have reviewed the information submitted as part of this application and our comments should be read in conjunction with the SAB application addressing surface water under reference SAB00004. We note that the intention is to discharge surface water by utilising a combination of rainwater harvesting and soakaways and to convey foul water to the mains sewer reusing a historic connection that served the previous building on the site.

We have not raised any objection to the proposed method to dispose of surface water as part of our formal response to the SAB application, however we note that there are no plans submitted as part of the planning application to show how foul flows will drain to the public sewer network. We note the comment in the Drainage Strategy that an existing pipe will be reused but at the time of writing the report further investigations were to be undertaken. We raise this point as we would not allow a new direct connection onto a brick work sewer in either Crofts Street, or Partridge Road and recommend that a plan is submitted to show how the site will effectively drain foul water.

Notwithstanding the above, if you are minded to grant planning permission we request that the following Conditions and Advisory Notes are included within any subsequent consent.

Conditions

No development shall commence until a foul drainage scheme for the site has been submitted to and approved in writing by the Local Planning Authority. The

scheme shall demonstrate how the site will be effectively drained and how flows will communicate to the public sewerage system. Thereafter, the scheme shall be implemented in accordance with the approved details prior to the occupation of the development with no surface water or land drainage allowed to connect directly or indirectly with the public sewerage system.

Reason: To prevent hydraulic overloading of the public sewerage system, to protect the health and safety of existing residents and ensure no pollution of or detriment to the environment.

Advisory Notes

The applicant may need to apply to Dwr Cymru / Welsh Water for any connection to the public sewer under S106 of the Water Industry Act 1991. If the connection to the public sewer network is either via a lateral drain (i.e. a drain which extends beyond the connecting property boundary) or via a new sewer (i.e. serves more than one property), it is now a mandatory requirement to first enter into a Section 104 Adoption Agreement (Water Industry Act 1991). The design of the sewers and lateral drains must also conform to the Welsh Ministers Standards for Gravity Foul Sewers and Lateral Drains, and conform with the publication "Sewers for Adoption"- 7th Edition. Further information can be obtained via the Developer Services pages of www.dwrcymru.com

The applicant is also advised that some public sewers and lateral drains may not be recorded on our maps of public sewers because they were originally privately owned and were transferred into public ownership by nature of the Water Industry (Schemes for Adoption of Private Sewers) Regulations 2011. Under the Water Industry Act 1991 Dwr Cymru Welsh Water has rights of access to its apparatus at all times.

A water supply can be made available to serve this proposed development. The developer may be required to contribute, under Sections 40 - 41 of the Water Industry Act 1991, towards the provision of new off-site and/or on-site water mains and associated infrastructure. The level of contribution can be calculated upon receipt of detailed site layout plans which should be sent to the address above.

Our response is based on the information provided by your application. Should the proposal alter during the course of the application process we kindly request that we are re-consulted and reserve the right to make new representation.

7. **REPRESENTATIONS**

- 7.1 Local Members and adjoining residents have been notified and the application advertised on site.
- 7.2 A petition of objection signed by 73 residents of Cardiff, almost all of which are local, has been received. The objections are in respect of the following:
 - Modular build
 - Close to homes - Take away privacy and light
 - Traffic congestion

Cutting down memorial cherry tree
No parking
Shame not left as a green space

7.3 A local resident says:

I am representing the residents of Roath on the croft street development build also the removal of the blossom tree due to be cut down I will put forward all comments and signatures from all residents in this close community , to bring to your attention I've been petitioning for months on this development being not in keeping with this area at all this modular build will be an eyesore in this very close built up area also you promised to build 9 houses in keeping with the area which residents agree with also the other issues are you are planning to open back gates onto quail court 3 houses there in which we have spoken to ccha housing they have also agreed that this is not feasible with health and safety issues - with all residents in quail court driving off there drive n right up against the boundary wall n turning to drive off -if there was back gates there with vehicles turning in and out is a risk , also with rubbish issues being put there we would have to put up with bins left there n have to look at it , this is our private space for driving out n being clean - also with ambulances / police / fire engines need that clear to access x Also we have to bring our rubbish through our houses to the front ,we think they should take theirs to the front of there houses, and no back gates . The housing r getting in touch with you over this issue because of us driving out we have lived here 24 yrs . Also in the original plans you were gating the lane opposite the croft into quail court ,now you have decided to stop the gating simply because you are not building the flats , we have police backing with all the trouble drugs anti-social behaviour urinating in lane sexual behaviour in lane cars speeding through here trying to avoid junction by the croft pub burnt out motorbikes xx we need this gated asap we have the police on our side also a petition going x The other issue is the parking situation is bedlam in this built up area - the croft pub is now a hotel with 10 rooms needing parking - then the new build houses needing parking already we have people parking an leaving cars here n going to work leaving them 8-5 all day x you really need to send someone here at 9 in the morning n 5 o'clock to see the congestion with cars.

and

Also why don't you build this modular build by waterloo gardens where the homes for the elderly were demolished 7 yrs ago n you don't build on that site x we feel if you want to construct a building like that do it somewhere like Newport road or places like that where it don't stand out like a sore thumb in a built up area like ours when we look out of our windows to a bright orange build like a university building taking all our light as well. We feel your building this because you have a grant this is not acceptable so close to our houses. We have rights as well. We intend to take this as far as we can. I have an online petition with 262 residents signed n commented on - also written petitions on this modular build also cutting down tree - n the opening off back garden gates onto our privacy and health and safety x I will be bringing proof of all this to you 2moz n we are also going to bring this situation to be put on tv with wales online news - also Neil McEvoy is involved x we will fight on with this because this is a lovely community n we don't want it run down like this -

please take these views seriously on behalf of our community.

and

- -devalue adjoining property
- -takes light from adjoining property
- -loss of privacy
- -trees being planted in Quail Court

7.4 A local resident objects stating:

Comment:- Loss of green space

Residents of Plasnewydd, an area lacking in green spaces, will lose the opportunity to establish a community park or garden on the former laboratory site. It is widely accepted that access to green spaces greatly improves quality of life and serves to harmonise communities. If Cardiff Council are determined to construct dwellings on this site, they should present a conciliatory tangible asset, for the benefit of the whole community.

- Loss of established cherry tree

The established cherry tree on the site of the former laboratory is an asset to wildlife, the surrounding area and whole community. Many residents have expressed dismay at the proposed loss of this tree - a petition against this has been submitted. If the developers and council had the will, the tree could be incorporated in the proposal. Protecting the tree would send a powerful message that Cardiff Council respects residents and the areas in which they live.

- High number of dwellings

The Cardiff Living scheme has proposed to build eight dwellings in the Hortensia Place development :

<https://www.cardiff.gov.uk/ENG/resident/Housing/Housing-Partnership-Programme/Pages/default.aspx>). In comparison to the proposed Crofts Street development, these dwellings are surrounded by considerably more green space and incorporate several resident parking bays. This reduces the developments impact on its surroundings. The same cannot be said for the Crofts Street proposal. While it does appear that prior to the 1940s the site incorporated nine terraced houses, the area surrounding the site now hosts multiple dwellings that were not present at that time. Furthermore, the site is objectively small at only 1373 square metres. If houses are to be constructed on the site, it would be pragmatic to construct fewer, potentially five or six, to lessen the developments impact on surrounding properties and increase green space, vegetation and trees. This would serve to promote quality of life for both existing and new residents and lessen a sense of overcrowding.

- Poor aesthetic and design - proposed development unsympathetic to existing structures

The proposed modular buildings are totally out-of-keeping with the style of the vast majority of properties in the surrounding area. The proposed properties are tall and imposing, exacerbated by the flat roof style. The large upstairs windows will allow

clear elevated views into adjacent neighbours bedrooms, living rooms and gardens.

This issue could be mitigated if the proposed dwellings were of a traditional style, less tall, in keeping with the area. Properties proposed in the Hortensia Place development could be more suitable.

(<https://www.cardiff.gov.uk/ENG/resident/Housing/Housing-Partnership-Programme/Pages/default.aspx>). It is extremely disappointing that the bottom-line appears to be driving this development, rather than what is optimal for residents, new or existing.

- Insufficient parking

During the pre-planning consultation, residents recommended that permitted parking should be introduced around the site prior to the submission of the planning application. This would allow an assessment on the impact of introducing potentially several new vehicles to an already highly populated area with a lack of street parking. This has not been done, so the impact on road congestion and parking remains unknown.

Croft pub is now a hotel with 10 rooms.

- Safety concern - back gates open onto highway

The pre-planning proposal incorporated a green buffer between the rear boundary of the two storey properties and Quail Court/the lane leading to Quail Court. This green buffer has now disappeared, leaving nine gates that open directly onto the highway.

The developers clearly anticipate high usage of back gates, given the location of bin and bicycle storage. This creates an unreasonably high risk for residents encountering a vehicle as they are exiting through a rear gate. As the development is purportedly aimed at families, this design flaw must be addressed as a matter of urgency. A green buffer could be re-instated, a separate footpath could be constructed behind the proposed properties with access on either end or the lane leading to Quail Court could be gated at Partridge Road.

- Poor location for bin storage

It is likely bin collections for the proposed development is going to take place from Crofts Street. Locating bin storage at the very rear of the proposed properties gardens is inviting waste to accumulate in these locations or within Quail Court. Bin storage should be incorporated at the front of each proposed dwelling

- 7.5 The occupiers of 6 other properties raise similar issues to those identified in paragraph 7.2 and 7.3. One of the objectors thinks the proposal is for 3 storey flats. In addition concern was raised in respect of existing anti-social behaviour and the fear that crime will rise and noise dust disturbance from construction.
- 7.6 The owner/manager of The Crofts Hotel is disappointed that the Council is not developing a traditional terrace and not provided some form of off street parking.

7.7 Another resident says “Please can you share what plans there are for coping with the additional parking for these 9 residential properties. Parking in the street is already challenging”

8. **ANALYSIS**

8.1 The analysis section also addresses the issues identified in the objections received.

8.2 The Policy position is that the development is within the settlement boundary of the City of Cardiff and there are no objections in principle to an infill residential development on a brownfield site within a predominantly residential area. The site was recently occupied by a laboratory building and prior to that was occupied by 9 terraced dwellings. The site has not been used as a green space nor is there any proposal to use this site as a green space. The nearest area of open space is Shelley Gardens which is 150m from the application site.

8.3 The Tree Officer has no objection to the loss of an unprotected “B” Cherry tree subject to appropriate mitigation measures. A replacement tree is to be planted in a build out in Croft Street. In addition small trees are to be planted in all the front gardens. There is no proposal to plant trees in Quail Court. The Tree Officer has no objections subject to conditions. If the Cherry Tree were to have been retained at least two of the affordable dwellings would have to be omitted leaving a residual area of questionable value.

8.4 The rear gardens are 9m long but combined with the front garden provides 62 sq m garden area for each unit. The Residential Design Guide states that gardens should measure at least 10.5m in depth or 50 sq m overall. The gardens exceed the 50 sq m identified in the SPG and are similar in size to properties in the surrounding area. The density of development is comparable with properties in Lily Street, Clive Place, Dylan Place, Hardy Place, Rose Street, Croft Street, Rouse Street and parts of Elm Street and Elm Street Lane and matches that previously existing on the site. LDP policy KP5 promotes the efficient use of land developing at highest practicable densities.

8.5 Most of this part of Cardiff was developed over 100 years ago and whilst there have been some new dwellings since 1950 these have principally been on land formerly occupied by development that existed prior to 1939.

8.6 There is no infringement of the LPA’s privacy standards specified in the Residential Design Guide SPG as rear windows are almost 22m from habitable windows in the front of windows to dwellings in Quail Court (separated by a highway) and there is a 16m separation between the front windows of the proposed development and those in existing dwellings on the other side of Crofts Street. There is a 13m gap between side ground floor windows in the rear annex of 81 Partridge Road and the rear of the proposed dwellings but these properties are separated by a public highway, Quail Lane. In several of the surrounding streets the distance between habitable windows is 11m separated by a highway.

8.7 In the surrounding area there is brick and various coloured render wall finishes with

some stone finishes in Partridge Road and some timber panel inserts in Elm Street and the end of Crofts Street. The external materials proposed are considered appropriate for this location. The laboratory building previously occupying the site was finished in brick.

- 8.8 The proposed development is of a contemporary design by Rogers, Stirk and Harbour. The overall height of the development is similar to other dwellings in the area. The number of dwellings proposed is in line with that that existed before the war and is of a comparable density to other dwellings in this area. The dwelling is not as high as the nearest house, 81 Partridge Road.
- 8.9 Where dwellings have been constructed since 1945 in the surrounding area they have been built as to the standards of the day they were constructed and are not replicas of the much older houses that preceded them. The site is not within a Conservation Area nor does it adjoin a listed building where a different design approach may be required.
- 8.10 The issue of modern methods of construction implementation has recently been the subject of an “Independent Review of Affordable Housing Supply – Welsh Government Response to Final Report” and a discussion in the Assembly on 9 July 2019.
- 8.11 In response to the relevant review recommendations the Welsh Government stated that:

The Welsh Government should continue to support the trialling of Modern Methods of Construction (MMC) to help establish which methods can contribute to the objective of increasing the scale and pace of affordable housing with the existing resources available.

Currently MMC contributes approx. 1% to housing currently but we believe it has the potential over the next 10 years or so to increase to approx. 20%. To further support this recommendation we will be implementing the panel’s recommendation to wrap existing MMC related funding programmes into the new grant model which will include commitment to MMC and provide a clear policy lever, together with greater certainty of long term demand in order to support such investment.

The Innovative Housing Programme continues to fund homes built using modular approaches, and Innovative Housing Programme Year 3 will continue to test modular technologies. A final test programme will be announced in October 2019 by the Minister.

The Welsh Government should develop a strategy to map out how Wales could further use off-site manufacturing (OSM) and MMC to deliver near zero carbon homes along with an appropriate timetable for achieving this.

Consultation within the housing sector on the strategy for off-site manufacturing and modern methods of construction for house building in Wales to be launched.

- 8.12 Independent advice on modern construction techniques and the position of the

Welsh Government is to encourage modular homes for the delivery of affordable homes and housing in general.

- 8.13 The agent says that the annual heating bills of traditional build are 90% higher than this type of modular build, so will help address fuel poverty.
- 8.14 The rear boundaries will be enclosed by a 1.8m high brick wall. The front gardens would be enclosed by a 0.5m high wall.
- 8.15 It should be noted that the applicant has significantly reduced the scale of this proposal following the PAC exercise reducing both the height of the development and the number of dwellings proposed. It should also be noted that each application has to be judged on its own particular merits. Hortensia Place is in a suburban location in Old St Mellons where the context is significantly different and permission granted two years ago for a different form of residential development.
- 8.16 The site lies within the central area of the City for the application of current parking standards. Residential development in this area does not require a minimum car parking provision but does require a minimum of 1 cycle parking space per dwelling. No objection has been received from the Transportation Officer. The surrounding area is characterised by on street parking with a few exceptions.
- 8.17 Paragraph 6.8 of the Managing Transport Impacts SPG states:
- Limiting the provision of parking in these central areas of the city is necessary to manage the demand for travel by car to central Cardiff and encourage travel by public transport, walking and cycling in order to achieve the Local Development Plan target of a 50:50 modal split.
- 8.18 Quail Lane is a relatively short length of highway providing access to 3 dwellings. Traffic speed and volume of traffic will be relatively low. No objection has been received from the Transport Officer to the proposed rear access arrangements. The Waste Officer has no objection to the waste collection arrangements.
- 8.19 The suggested gating of Quail Lane is a separate matter for the Transportation Officer to consider and is not part of the current application. If gating were to occur the proposed development would not prejudice such an arrangement.
- 8.20 No evidence has been submitted that the proposed development would devalue surrounding properties and this is not considered a material matter in the determination of this application.
- 8.21 The proposed development will not infringe the daylighting and sunlighting standards identified in the Residential Design Guide SPG.
- 8.22 There is always some disturbance during construction but this is for a temporary period only. With so much of the dwellings built off site this temporary period will be significantly reduced, a welcome feature of the modular approach proposed.
- 8.23 The agent in response to Welsh Water's comments states:

Welsh Water's comments are in line with our previous correspondence with them. The current proposals include the re-use of an existing foul water connection on to the brick sewers. The latest drainage strategy layout (AECOM drawing number 60594792-ACM-CS-XX-DR-CE-000002 - Drainage layout P2-000002) provides full details (pipeline line and level, access chamber details, invert and cover levels etc) of the proposed foul water drainage network which includes a proposal to assess the existing manhole chamber condition within the site to determine whether it will require a re-build.

- 8.24 Section 17(1) of the Crime and Disorder Act 1998 imposes a duty on the Local Authority to exercise its various functions with due regard to the likely effect of the exercise of those functions on, and the need to do all that it reasonably can to prevent, crime and disorder in its area. This duty has been considered in the evaluation of this application. The Police were consulted and have no objections. It is considered that there would be no significant unacceptable increase in crime and disorder as a result of the proposed decision. Increased passive surveillance from front, rear and side windows overlooking the adjoining highways may have a positive impact.
- 8.25 The Equality Act 2010 identifies a number of 'protected characteristics', namely age; disability; gender reassignment; pregnancy and maternity; race; religion or belief; sex; sexual orientation; marriage and civil partnership. The Council's duty under the above Act has been given due consideration in the determination of this application. It is considered that the proposed development does not have any significant implications for, or effect on, persons who share a protected characteristic
- 8.26 Well-Being of Future Generations Act 2016 – Section 3 of this Act imposes a duty on public bodies to carry out sustainable development in accordance with the sustainable development principle to act in a manner which seeks to ensure that the needs of the present are met without compromising the ability of future generations to meet their own needs (Section 5). This duty has been considered in the evaluation of this application for affordable housing on a brownfield site.
- 8.27 In conclusion the proposal will provide well designed and much needed affordable housing in accordance with LDP policies and SPGs. No consultees have objected. It is considered that for the reasons given earlier in this section that the proposal does not have such adverse effects as to warrant the refusal of this proposal.
- 8.28 The applicant needs to enter a unilateral Undertaking under Section 106 that all the dwellings will be affordable dwellings and provide an off-site contribution towards the design, improvement and/or maintenance of existing open space in the locality and for a TRO for the proposed extension of parking restrictions adjoining the application site.

9. **SECTION 106 REQUIREMENTS**

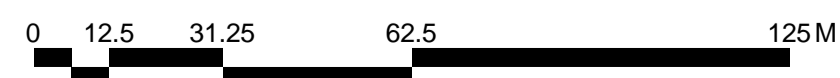
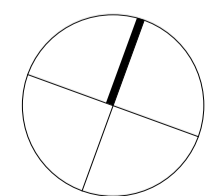
- 9.1 Contributions under Section 106 are required to address the following matters:-
- (i) £12,000 for the TRO process for the proposed extension of parking restrictions adjoining the application site.

- (ii) Off-site contribution of £16,808 new open space, or the design, improvement and/or maintenance of existing open space in the locality.
- (iii) That all the dwellings be available for Council accommodation.



Revision	Date	Description
1	2019-06-06	Planning Submission
P03	2019-07-24	Planning Amendments - Build Out

Legend



Drawing Purpose
Planning Amendment

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PROPOSED SITE PLAN

Drawing Number
CST-RSH-XX-00-DR-AR-20110

Scale @ A1
1 : 1250

Drawing Date
2018-11-22

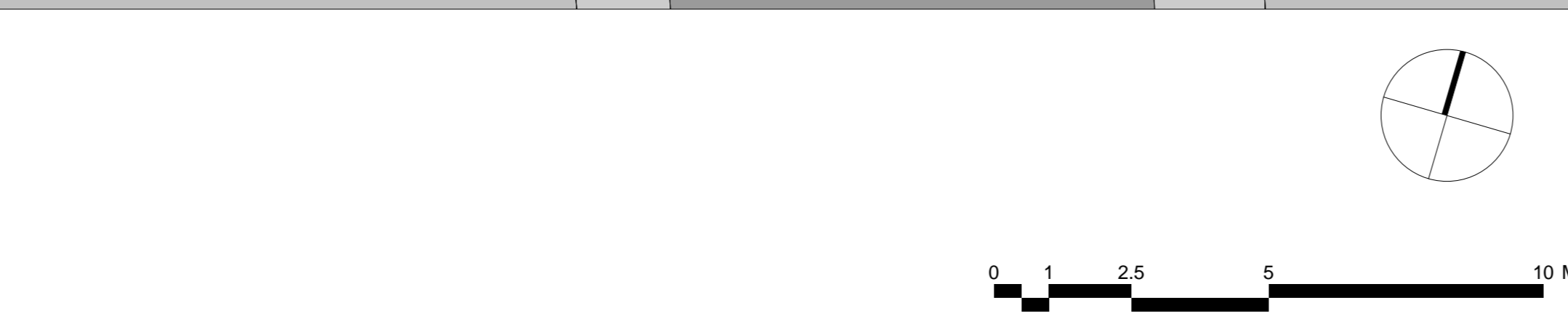
Revision
P03

Revision Date
2019-07-24



Revision	Date	Description
1	2019-06-06	Planning Submission
P03	2019-07-24	Planning Amendments - Build Out

Legend
--- --- --- Trench cut redout



Notes

Drawing Purpose		
Planning Amendment		
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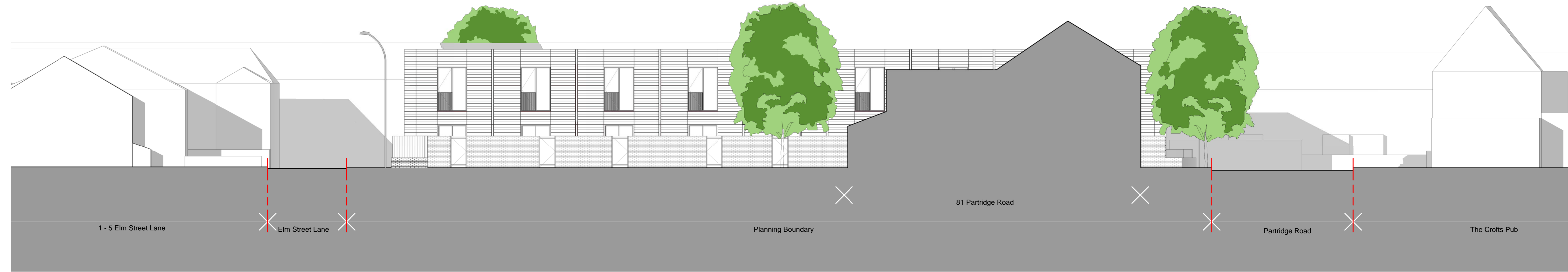
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Drawing Title		
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Proposed Roof Plan		
Drawing Number CST-RSH-XX-RF-DR-AR-20014	Revision P03	
Scale @ A0 1 : 100	Drawing Date 2018-11-30	Revision Date 2019-07-24





1 EAST-ELEVATION
1:100



2 WEST-ELEVATION
1:100

Revision	Date	Description
1	2019-06-06	Planning Submission
P03	2019-07-24	Planning Amendments - Build Out

Legend

Notes

Drawing Purpose

Planning Amendment

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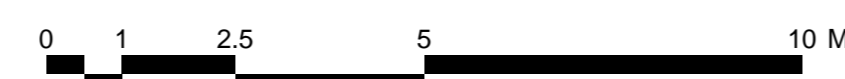


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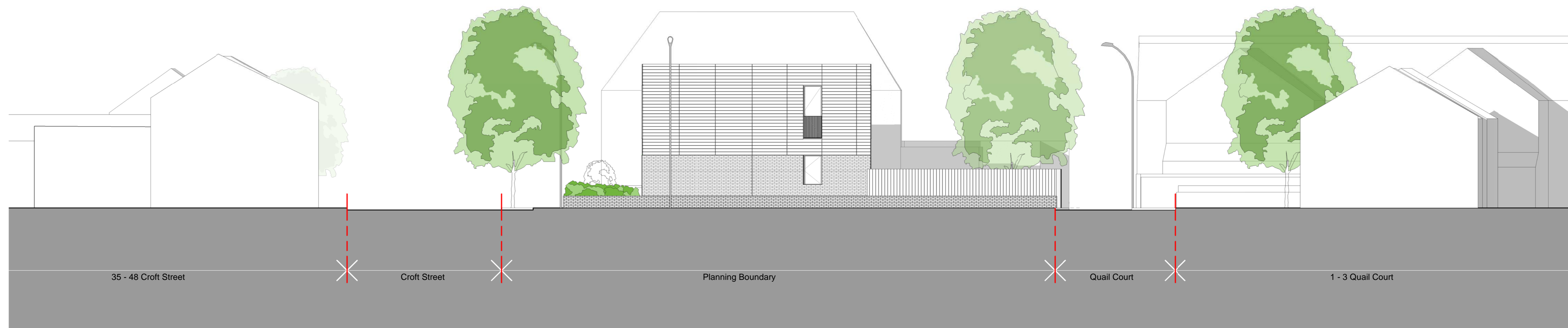
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Proposed East + West Elevation

Drawing Number	Revision
CST-RSH-XX-EW-DR-AR-22020	P03
Scale @ A0	Drawing Date
1 : 100	2018-11-22
	Revision Date
	2019-07-24





1 NORTH-ELEVATION



2 SOUTH-ELEVATION

Revision	Date	Description
1	2019-06-06	Planning Submission
2	2019-07-05	Planning Amendment

Legend

Notes

Drawing Purpose
Planning Amendment
Drawn by: RSHP
Checked by: LJ
Authorised by: AP

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Drawing Title	© Copyright Rogers Stirk Harbour + Partners all rights reserved 2019
Proposed North + South Elevation	
Drawing Number: CST-RSH-XX-NS-DR-AR-22010	Revision: 2
Scale: @ A0, 1:100	Drawing Date: 2018-11-22, Revision Date: 2019-07-05



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Revision	Date	Description
P1	2019-06-06	Planning Submission

Legend

Drawing Purpose
Planning Submission

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Visualisation from South of Croft Street

Drawing Number	Revision
CST-RSH-XX-XX-VS-AR-90004	P1

Scale	Drawing Date	Revision Date
@ A1	2019-04-25	2019-06-06



Revision	Date	Description
P1	2019-06-06	Planning Submission

Legend


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Drawing Number CST-RSH-XX-XX-VS-AR-90002		Revision P1
Scale @ A1	Drawing Date 2019-04-25	Revision Date 2019-06-06



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COMMITTEE DATE: 14/08/2019

APPLICATION No. **19/01538/MJR**

APPLICATION DATE: 29/5/2019

ED: **CATHAYS**

APP: TYPE: Full Planning Permission

APPLICANT: Rightacres Property Company Ltd

LOCATION: PARKGATE HOUSE, FORMER COUNTY COURT BUILDING AND ADJACENT LAND, WESTGATE STREET, CARDIFF.

PROPOSAL: PARTIAL DEMOLITION, REFURBISHMENT, CHANGE OF USE AND REDEVELOPMENT OF PARKGATE HOUSE, FORMER COUNTY COURT BUILDING, AND ADJACENT LAND FOR USE AS A HOTEL INCLUDING ASSOCIATED INTERNAL ALTERATIONS TO LISTED BUILDINGS.

RECOMMENDATION 1: That, subject to relevant parties entering into a binding planning obligation in agreement with the Council under **SECTION 106** of the Town and Country Planning Act 1990, within 6 months of the date of this resolution unless otherwise agreed by the Council in writing, in respect of matters detailed in paragraph 9.2 of this report, planning permission be **GRANTED** subject to the following conditions:

1. C01 Statutory Time Limit
2. The consent relates to the following approved plans:
 - EX(P)001revB Location Plan
 - EX(P)003revA Site Plan
 - PR(P)099revD Basement as proposed
 - PR(P)100revD Ground as proposed
 - PR(P)101revD First as proposed
 - PR(P)102revD Second as proposed
 - PR(P)103revD Third as proposed
 - PR(P)104revD Fourth as proposed
 - PR(P)105revD Fifth as proposed
 - PR(P)106revD Sixth as proposed
 - PR(EL)200revC Elevation 1
 - PR(EL)201revD Elevation 2
 - PR(EL)202revD Elevation 3
 - PR(EL)203revB Elevation 4
 - PR(EL)204revC Elevation 5
 - PR(EL)205revB Westgate Street Context Elevation

- PR(SE)301revA Section 01 Proposed
- PR(SE)302revB Section CC Proposed
- PR(SE)304revB Section EE Proposed
- PR(SE)350revA Proposed Bay Section 1
- PR(SE)351revA Proposed Bay Section 2
- PR(D)501revA Proposed Details
- PR(D)502revA Proposed Details

Reason: For the avoidance of doubt.

3. No above-ground development shall take place until samples of the external finishing materials for the new building have been submitted to and approved by the Local Planning Authority. The development shall be carried out in accordance with the approved details. Reason: To ensure a satisfactory finished appearance to the building.
4. No above-ground development above ground shall take place until a scheme showing the architectural detailing of the main elevations of the new building has been submitted to and approved in writing by the LPA. The development shall be carried out in accordance with the approved details. Reason: To ensure a satisfactory finished appearance to the building.
5. *Ground gas protection:* Post demolition but prior to the commencement of all other development works a scheme to investigate and monitor the site for the presence of gases being generated at the site or land adjoining thereto, including a plan of the area to be monitored, shall be submitted to the Local Planning Authority for its approval. Following completion of the approved monitoring scheme, the proposed details of appropriate gas protection measures to ensure the safe and inoffensive dispersal or management of gases and to prevent lateral migration of gases into or from land surrounding the application site shall be submitted to and approved in writing to the LPA. If no protection measures are required than no further actions will be required. All required gas protection measures shall be installed and appropriately verified before occupation of any part of the development which has been permitted and the approved protection measures shall be retained and maintained until such time as the Local Planning Authority agrees in writing that the measures are no longer required. Reason: To ensure that the safety of future occupiers is not prejudiced.
6. *Contaminated land measures – assessment:* Post-demolition but prior to the commencement of all other development works an assessment of the nature and extent of contamination shall be submitted to and approved in writing by the Local Planning Authority. This assessment must be carried out by or under the direction of a suitably qualified

competent person in accordance with BS10175 (2011) Code of Practice for the Investigation of Potentially Contaminated Sites and shall assess any contamination on the site, whether or not it originates on the site. The report of the findings shall include:

- an intrusive investigation to assess the extent, scale and nature of contamination which may be present, if identified as required by the desk top study;
- an assessment of the potential risks to: human health, groundwater and surface waters, adjoining land, property (existing or proposed), and service lines and pipes;
- an appraisal of remedial options, and justification for the preferred remedial option(s).

All work and submissions carried out for the purposes of this condition must be conducted in accordance with DEFRA and the Environment Agency's 'Model procedures for the Management of Land Contamination, CLR 11' (September 2004) and the WLGA / WG / NRW guidance document ' Land Contamination: A guide for Developers' (2017), unless the Local Planning Authority agrees to any variation. Reason: To ensure that information provided for the assessment of the risks from land contamination is sufficient to enable a proper assessment.

7. *Contaminated land measures – remediation and verification plan:* Post demolition but prior to the commencement of all other development works a detailed remediation scheme and verification plan to bring the site to a condition suitable for the intended use by removing any unacceptable risks to human health, controlled waters, buildings, other property and the natural and historical environment shall be submitted to and approved in writing by the Local Planning Authority. The scheme shall include all works to be undertaken, proposed remediation objectives and remediation criteria, a timetable of works and site management procedures. The scheme must ensure that the site will not qualify as contaminated land under Part 2A of the Environmental Protection Act 1990 in relation to the intended use of the land after remediation. All work and submissions carried out for the purposes of this condition must be conducted in accordance with DEFRA and the Environment Agency's 'Model procedures for the Management of Land Contamination, CLR 11' (September 2004) and the WLGA / WG / NRW guidance document ' Land Contamination: A guide for Developers' (2017),, unless the Local Planning Authority agrees to any variation. Reason: To ensure that any unacceptable risks from land contamination are minimised in accordance with policy EN13 of the Cardiff Local Development Plan.

8. *Contaminated land measures – remediation and verification:* The approved remediation scheme must be fully undertaken in accordance

with its terms prior to the occupation of any part of the development unless otherwise agreed in writing by the Local Planning Authority. The Local Planning Authority must be given two weeks written notification of commencement of the remediation scheme works. Within 6 months of the completion of the measures identified in the approved remediation scheme, a verification report that demonstrates the effectiveness of the remediation carried out must be submitted to and approved in writing by the Local Planning Authority. All work and submissions carried out for the purposes of this condition must be conducted in accordance with DEFRA and the Environment Agency's 'Model procedures for the Management of Land Contamination, CLR 11' (September 2004) and the WLGA / WG / NRW guidance document 'Land Contamination: A guide for Developers' (2017), unless the Local Planning Authority agrees to any variation. Reason: To ensure that any unacceptable risks from land contamination are minimised in accordance with policy EN13 of the Cardiff Local Development Plan.

9. *Contaminated land measures – unforeseen contamination:* In the event that contamination is found at any time when carrying out the approved development that was not previously identified it must be reported in writing within 2 days to the Local Planning Authority, all associated works must stop, and no further development shall take place unless otherwise agreed in writing until a scheme to deal with the contamination found has been approved. An investigation and risk assessment must be undertaken and where remediation is necessary a remediation scheme and verification plan must be prepared and submitted to and approved in writing by the Local Planning Authority. Following completion of measures identified in the approved remediation scheme a verification report must be submitted to and approved in writing by the Local Planning Authority. The timescale for the above actions shall be agreed with the LPA within 2 weeks of the discovery of any unsuspected contamination. Reason: To ensure that any unacceptable risks from land contamination are minimised in accordance with policy EN13 of the Cardiff LDP.
10. *Imported aggregates:* Any aggregate (other than virgin quarry stone) or recycled aggregate material to be imported shall be assessed for chemical or other potential contaminants in accordance with a scheme of investigation which shall be submitted to and approved in writing by the Local Planning Authority in advance of its importation. Only material approved by the Local Planning Authority shall be imported. All measures specified in the approved scheme shall be undertaken in accordance with the relevant Code of Practice and Guidance Notes. Subject to approval of the above, sampling of the material received at the development site to verify that the imported material is free from contamination shall be undertaken in accordance with a scheme and

timescale to be agreed in writing by the LPA. Reason: To ensure that the safety of future occupiers is not prejudiced in accordance with policy EN13 of the Cardiff LDP.

11. *Use of site-won materials:* Any site won material including soils, aggregates, recycled materials shall be assessed for chemical or other potential contaminants in accordance with a sampling scheme which shall be submitted to and approved in writing by the Local Planning Authority in advance of the reuse of site won materials. Only material which meets site specific target values approved by the Local Planning Authority shall be reused. Reason: To ensure that the safety of future occupiers is not prejudiced in accordance with policy EN13 of the Cardiff LDP.

12. *Drainage scheme:* No development shall commence until a drainage scheme for the site has been submitted to and approved in writing by the Local Planning Authority. The scheme shall provide for the disposal of foul, surface and land water, and include an assessment of the potential to dispose of surface and land water by sustainable means. Thereafter the scheme shall be implemented in accordance with the approved details prior to the occupation of the development and no further foul water, surface water and land drainage shall be allowed to connect directly or indirectly with the public sewerage system. Reason: To prevent hydraulic overloading of the public sewerage system, to protect the health and safety of existing residents and ensure no pollution of or detriment to the environment.

13. *Construction Environment Management Plan (CEMP):* No development shall commence, including any works of demolition, until a Construction Environment Management Plan (CEMP) has been submitted to, and approved in writing by, the Local Planning Authority. The CEMP shall include the following details: loading and unloading of plant and materials; storage of plant; the erection and maintenance of security hoarding; details of highway/footway closures and access/egress; delivery routes and holding arrangements, local and onsite traffic management arrangements, street cleansing and wheel washing facilities, measures to control and mitigate the emission of dust, smoke, other airborne pollutants and dirt; a scheme for recycling/ disposing of waste resulting from demolition; hours of work; lighting, including the use of security lighting on site outside normal construction/demolition hours; management control and mitigation of noise and vibration, including the use of generators on site outside normal construction/demolition hours; and a system for the management of complaints from local residents which will incorporate a reporting system. The development shall be undertaken in accordance with the

approved CEMP. Reason: In the interests of highway safety and public amenity and to ensure that the amenities of occupiers of other premises in the vicinity are protected in accordance with Policy EN13 of the Cardiff LDP.

14. *Plant noise:* The rating level of the noise emitted from fixed plant and equipment on the site shall not exceed the existing background noise level at any time by more than 5dB(A) at the nearest noise sensitive premises when measured and corrected in accordance with the current British Standard 4142. Reason: To ensure that the amenities of occupiers of other premises in the vicinity are protected in accordance with Policy EN13 of the Cardiff LDP.
15. *Entertainment noise from bars/restaurants/function rooms:* No noise emanating from the hotel entertainment/function rooms shall be audible within the noise sensitive rooms of the adjacent premises at 2 Park Street (Cardiff Civil and Family Justice Centre) when those rooms are in use. Reason: To ensure that the amenities of occupiers of the adjacent noise sensitive premises are protected in accordance with Policy EN13 of the Cardiff LDP.
16. *Kitchen extraction:* The extraction of all fumes from the food preparation areas shall be mechanically extracted to a point to be agreed in writing by the Local Planning Authority, and the extraction system shall be provided with a de-odorising filter. All equipment shall be so mounted and installed so as not to give rise to any noise nuisance. Details of the above equipment including the chimney shall be submitted to, and approved by, the Local Planning Authority in writing and the equipment installed prior to the commencement of use for the cooking of food. The equipment shall thereafter be maintained in accordance with the manufacturers' guidelines, such guidelines having previously been agreed by the Local Planning Authority in writing. Reason: To ensure that the amenities of occupiers of other premises in the vicinity are protected in accordance with Policy EN13 of the Cardiff LDP.
17. *Standard Cycle Parking condition C3S.*
18. *Standard Details of Access Road Junction condition C3F.*

ADDITIONAL RECOMMENDATIONS:

RECOMMENDATION 2: The highway works conditions and any other works to existing or proposed adopted public highway are to be subject to an agreement under Section 278 and/or S38 of the Highways Act 1980 between the developer and Local Highway Authority.

RECOMMENDATION 3: The contamination assessments and the effects of unstable land are considered on the basis of the best information available to the Planning Authority and are not necessarily exhaustive. The Authority takes due diligence when assessing these impacts, however you are minded that the responsibility for the following rests with the developer:

- (i) determining the extent and effects of such constraints and;
- (ii) ensuring that any imported materials (including, topsoils, subsoils, aggregates and recycled or manufactured aggregates / soils) are chemically suitable for the proposed end use. Under no circumstances should controlled waste be imported. It is an offence under section 33 of the Environmental Protection Act 1990 to deposit controlled waste on a site which does not benefit from an appropriate waste management licence. The following must not be imported to a development site:
 - Unprocessed / unsorted demolition wastes.
 - Any materials originating from a site confirmed as being contaminated or potentially contaminated by chemical or radioactive substances.
 - Japanese Knotweed stems, leaves and rhizome infested soils. In addition to section 33 above, it is also an offence under the Wildlife and Countryside Act 1981 to spread this invasive weed; and
- (iii) the safe development and secure occupancy of the site.

Proposals for areas of possible land instability should take due account of the physical and chemical constraints and may include action on land reclamation or other remedial action to enable beneficial use of unstable land. The Local Planning Authority has determined the application on the basis of the information available to it, but this does not mean that the land can be considered free from contamination.

RECOMMENDATION 4: To protect the amenities of occupiers of other premises in the vicinity attention is drawn to the provisions of Section 60 of the Control of Pollution Act 1974 in relation to the control of noise from demolition and construction activities. Further to this the applicant is advised that no noise audible outside the site boundary adjacent to the curtilage of residential property shall be created by construction activities in respect of the implementation of this consent outside the hours of 0800-1800 hours Mondays to Fridays and 0800 - 1300 hours on Saturdays or at any time on Sunday or public holidays. The applicant is also advised to seek approval for any proposed piling operations.

RECOMMENDATION 5: As of 7th January 2019, this proposed development is subject to Schedule 3 of the Flood and Water Management Act 2010. The development therefore requires approval of Sustainable Drainage Systems (SuDS) features, in accordance with the 'Statutory standards for sustainable drainage systems – designing, constructing, operating and maintaining surface water drainage systems'. It is therefore recommended that the developer engage in consultation with Cardiff Council, as the determining

SuDS Approval Body (SAB), in relation to their proposals for SuDS features. Please note, DCWW is a statutory consultee to the SAB application process and will provide comments to any SuDS proposals by response to SAB consultation.

1. **DESCRIPTION OF PROPOSED DEVELOPMENT**

- 1.1 A detailed application for the demolition of parts of the vacant Parkgate House and former County Courts building, and the refurbishment, change of use and redevelopment of existing listed buildings and adjacent land for use as a hotel, including associated internal alterations.
- 1.2 The planning application is accompanied by an application for conservation area consent for the partial demolition works (mainly the rear of the former County Court building and the aerial link connecting Parkgate House to the Stadium Tower), and an application for listed building consent for the alterations and refurbishment works to the listed buildings.
- 1.3 The proposed 4* hotel will have 175 bedrooms with ancillary restaurant and bar and tea room areas, a purpose-built function room capable of seating 350 guests and associated pre-event space, and a leisure spa with pool and treatment rooms.
- 1.4 The proposed development will comprise works to the existing Parkgate House building, the existing former County Court building, and new development on the vacant adjacent site and to the rear of the County Court building, as follows:
- 1.5 *Parkgate House:* Removal of the 1990's interior office fabric and repairs to the roof and stone façade, and the conversion of the ground floor, including the restoration and enhancement of the existing Old Post Office grand entrance hall as a reception, restaurant, lounge/tea room area. Accessibility improvements to facilitate disabled access.
- 1.6 The conversion of upper floors (from first to sixth) into hotel rooms with plant areas, car and cycle parking and staff areas within the basement. Demolition of Bridge Link between rear of Parkgate House and BT Stadium House for which Conservation Area Consent is required.
- 1.7 *County Court building:* Demolition of the rear half of the building, internal courtyard and semi-circular stair, and repairs to the roof and stone façade. Construction of a 7-storey new-build extension, extending over the demolished rear half of County Court. The conversion of upper floors (from first to sixth) into hotel rooms, with spa and leisure and treatment rooms located on the sixth floor of the new extension.

- 1.8 Restoration and enhancement of the existing entrance hall as a reception, bar and function area which can be accessed either from the main hotel entrance or from secondary access points to Westgate Street (via the entrance to the former County Court Building). New double height pre-event space and a function room will occupy the remainder of the ground floor. To retain the memory of the internal courtyard, the construction of a 3- storey void 'atrium' in the same location is proposed.
- 1.9 *New development on adjacent land:* The construction of a 5 storey new-build extension in precast stone to match the County Court facade, increasing in height to 7 storeys to the rear, in a patterned charcoal brick. The pre-event space and function room in the County Court building will extend into the ground floor of the new-build extension. Upper floors are hotel rooms with top floor set back behind a colonnade.
- 1.10 *Amended plans:* Amended plans were received responding to concerns over the design of the new-build element. The amendments comprise:
- Redesign of the stair tower to include a glazed 'lantern' top and windows;
 - A more slender treatment to the top of the Westgate Street corner element and addition of metal 'balustrades' to match those used on lower floors;
 - Introduction of gloss and matt finish charcoal brick in a chequerboard pattern to the northern elevation.
- 1.11 The following information is submitted:
- Design and Access Statement
 - Design and Access Statement Addendum (July 2019)
 - Planning Statement
 - Archaeological Heritage Appraisal
 - Heritage Impact Assessment
 - Statement of Significance
 - Drainage Strategy Report
 - Environmental Noise Report
 - Air Quality Assessment
 - Transport Statement
 - Flood Consequences Assessment
 - Bat and Nesting Bird Survey Report
 - Pre-Application Consultation Report
 - Geotechnical Desk Study
 - Geotechnical Site Investigation Report
- 1.12 *Pre-application consultation:* The applicant has undertaken a formal pre-application consultation with the Local Planning Authority, meeting with officers from Development Management and Design and Conservation,

including a site visit. The project has also been presented twice to the Design Commission for Wales (DCfW) and to CADW for their review and input.

- 1.13 A statutory Pre Application Consultation was carried out by the developer in April/May 2019. Neighbours, local members and statutory consultees were consulted in accordance with the legislation. No significant issues were raised. Further details of this process can be found within the Pre-application Consultation Report.

2. **DESCRIPTION OF SITE**

- 2.1 The 0.34-hectare flat brownfield site is located within central Cardiff. It is bound by Westgate Street to the east, a listed building occupied by Cardiff County Club to the north (beyond an access road to the Principality Stadium), BT Stadium House to the west and Cardiff Civil and Family Justice Centre to the south. Cardiff Central Rail Station and the site of the future bus interchange are 300 metres and 130 metres to the south of the site, respectively.
- 2.2 The Cardiff Civil and Family Justice Centre building to the immediate south (on the corner of Westgate Street and Park Street) is excluded from the application boundary, as it is an operational government building.
- 2.3 The application site comprises part of the site of the vacant Head Post Office (Parkgate House) and the entire former County Court building, including the land immediately north of the County Court building, used previously for parking. There is a central void within the vacant buildings. There is currently a bridge/walkway link between the 'modern' extension of the Old Post Office building and BT Stadium House, however this is no longer in use and is proposed for demolition.
- 2.4 Beyond the immediate application boundary, the site is surrounded by a number of well-known landmark buildings including the Principality Stadium, Millennium Plaza (a leisure complex) and Southgate House. To the south construction of a new headquarters for the BBC Wales and the HMRC Headquarters is nearing completion. There is also a planning permission for a new transport interchange with residential and offices above, and St David's House, which fronts Wood Street, is currently being demolished.
- 2.5 A full Heritage Impact Assessment and Statement of Significance accompany the application. In summary: The proposed development will restore two adjoining Grade II listed buildings and bring them into beneficial use. Parkgate House was formally part of the Head Post Office is Grade II listed and was built in 1904. The stated reason for the designation is: "*Public building of some grandeur and richness of effect. Group value.*" The former County Court offices are Grade II listed and were built in 1884. The stated reason for the

designation is: *“Prominent Edwardian public building with well-handled classical idiom. Group value.”*

- 2.6 Both of the listed buildings have been vacant for some time, the Head Post Office having been ‘modernised’ quite significantly over the years, and the former County Court offices being in a state of partial disrepair.
- 2.7 There are a number of listed buildings in close proximity to the site, including: Former County Club; Jackson Hall; The Queen's & Royal Garage; and The Queens Vaults. All are Grade II Listed.
- 2.8 The site is situated within the St Mary Street Conservation Area.

3. **PLANNING HISTORY**

- 19/01540/MJR Listed building consent application for the partial demolition, refurbishment, change of use and redevelopment of Parkgate house, former County Court building, and adjacent land for use as a hotel including associated internal alterations to listed buildings; under consideration.
- 19/01539/MJR Conservation Area Consent (CAC) application for partial demolition of Parkgate and the former County Court building; under consideration.
- 97/1812/C LBC granted December 1997 for internal works to basement of former County Court building.
- 97/1433/C PP granted Sept 1997 for a cadet training facility within basement and WRU visitors centre on ground floor and remaining floors as offices at former County Court building.
- 97/1560/C LBC granted October 1997 for high level pedestrian enclosed link bridge from Parkgate to adjacent Stadium House extension.
- 97/1323/C PP granted Sept 1997 for high level pedestrian enclosed link bridge from Parkgate to adjacent Stadium House extension.
- 90/2169/C LBC granted Feb 1991 for demolition of building at rear, loading area, chimney and other areas, refurbishment works and construction of extensions at Parkgate and County Court premises.
- 90/2168/C PP granted January 1991 for part demolition, refurbishment of existing fabric and construction of extensions, removal of condition 5 of PP 90/820/C at Parkgate and County Court premises.

4. **POLICY FRAMEWORK**

National Policy

- 4.1 Planning Policy Wales (PPW) Edition 10, Dec 2018 favours the sustainable re-use of previously developed land. The following policies are relevant:

- 6.2.1 General
- 6.5.11 Preservation of listed buildings & setting
- 6.5.20 Preservation or enhancement of character or appearance of a conservation area

4.2 The following Technical Advice Notes (TANs) are relevant:

- TAN 12: Design (2009)
- TAN 24: Historic environment (2017)

4.3 The following policies of the 2016 City of Cardiff LDP are relevant to the consideration of this application:

- KP5 Good Quality and Sustainable Design
- KP6 New Infrastructure
- KP7 Planning Obligations
- KP10 Central and Bay Business Areas
- EC3 Alternative Use of Employment Land and Premises
- EC4 Protecting Offices in the Central and Bay Business Areas
- EN9 Conservation of the Historic Environment

4.4 The following Supplementary Planning Guidance (SPG) applies:

- Planning Obligations (Jan 17)
- Safeguarding Business and Industrial Land and Premises (2017)
- Managing Transportation Impacts (2018)
- St Mary Street Conservation Area Appraisal (2006)

5. **INTERNAL CONSULTEE RESPONSES**

5.1 ***Land Use Policy:*** The proposal is for the change of use, refurbishment and extension of Parkgate House, the neighbouring County Court Building and an area of adjacent land at Westgate Street to provide a 175 bed hotel. The site is located within the Central Business Area (CBA) and Central Enterprise Zone (CEZ) as defined by the Cardiff Local Development Plan 2006-2026. As such, the main land use planning policy issues relate to:

5.2 ***Whether the loss of land for B1 (Business) use is acceptable:*** LDP Policies EC3 (Alternative Use of Employment Land and Premises) and EC4 (Protecting Offices in the Central and Bay Business Areas) provide criteria against which proposals for the change of use of business / office premises will be assessed, including: Whether and for how long the premises have been vacant and actively marketed for office use; whether the proposed use is complementary to an employment use; and whether the proposed development can demonstrate wider economic, social and regeneration benefits.

5.3 The applicant has identified in their Planning Statement that Parkgate House has remained vacant for a period of over 10 years, despite having been

actively marketed for Class B1 (office) use throughout this period, which is a consideration in determining the acceptability of this proposal. In addition the proposed development would bring a long term vacant premises back into beneficial use, and given the nature of the proposed use as a hotel would result in wider economic, social and regeneration benefits. There is therefore some policy justification to support the proposed change of use in this instance.

- 5.4 *Whether the proposed C1 (Hotel) use is acceptable at this location:* Policy EC5 (Hotel Development) of the Local Development Plan identifies the Central Business Area as an appropriate location for hotel developments, subject to considerations of scale, location, design, amenity and transportation being acceptable. It is recognised that there is an established mix of uses within the Westgate Street area, which includes hotels.
- 5.5 **Strategic Planning (regeneration):** The existing public realm within Westgate Street is of a poor quality and the introduction of a hotel use, together with the refurbishment and extension of the buildings associated with this proposal will place increased pressure on the surrounding pedestrian environment. LDP Policy KP6 (New Infrastructure) seeks that new developments make appropriate provision for, or contribute towards, necessary infrastructure required as a consequence of proposed development, including public realm improvements.
- 5.6 Work is currently being undertaken to define a scheme of public realm / highway improvement works along the length of Westgate Street and a public realm contribution would be sought towards this project. The area of public realm works associated with this application would relate to the section of footway adjacent to the site and a financial contribution of £88,493 would be sought towards: The resurfacing of the footway with granite paving, the replacement of kerb stones, footway widening, replacement lighting columns and the upgrading of pedestrian crossing facilities.
- 5.7 **Conservation:** The Conservation Officer makes the following observations:
- 5.8 *Impact on character and appearance of St. Mary Street Conservation Area:* Architecturally, the St Mary Street Conservation Area is characterised by a variety of building styles and high quality materials. The majority of buildings demonstrate a reasonably consistent building height and in most areas there is a continuous building frontage. The predominant materials on elevations are brickwork and stone. Modern buildings are also an integral part of the character of the conservation area, the majority of which sit comfortably alongside those from the 19th and early 20th century.
- 5.9 Westgate Street itself has a number of prominent buildings, many of which are 4-6 storeys. The street used to be more vibrant than present as it was in

an important Quayside location, with more buildings along its west side. Unfortunately the old Head Post Office and the County Court building, two landmark buildings as defined by the appraisal, have been unoccupied and their visual appearance have suffered through neglect. This has had a detrimental impact on the appearance of the conservation area. The north elevation of the County Court building was not intended to be seen as demonstrated by the use of brick and lack of openings. This gap site has been unoccupied for some time with the void space often filled by cars. This void space is therefore considered to have a small negative impact on the character of the conservation area.

- 5.10 Part of the proposal is to refurbish the Old Head Post Office and the old County Court. This should enhance the character of the area. By rejuvenating these landmark buildings, these buildings will positively contribute to views within and into Westgate Street rather than represent the fall in importance of the immediate locality.
- 5.11 The addition of the new building with an active frontage in this prominent gap site should also have a positive impact on Westgate Street. The proposal would bring a new high quality contemporary structure to a gap site which was almost certainly not intended to be left empty and currently detracts from the area.
- 5.12 The new building is of a scale which reflects the height of other buildings on Westgate Street and also should not dominate the former County Court building allowing the County Court to remain a landmark building. As well as the scale complimenting the surrounding buildings, there are clear references to the architectural style of surroundings structures, notably in the spacing of the windows. The building has also been set back slightly to allow the quoins of the County Court building to still be visible.
- 5.13 The height of the building behind is not considered to detract from the character of the area. There are already higher developments in the vicinity, notably to the rear of the Old Head Post Office. Views within the area, such as from Golate Street, already have a mixture of heights visible. The high quality appearance with polychromatic textured brick, referencing the style of brickwork found nearby, should ensure it sits comfortably within the area.
- 5.14 It is considered that the proposal will enhance the character and appearance of the St Mary Street Conservation Area for the reasons above. It is not considered that there will be any negative impacts on any other surrounding conservation areas.
- 5.15 *Impact on setting of Listed Buildings:* The setting of Westgate Street contributes to the significance of the County Court Building and the Old Head Post Office. However, the gap site and reduction in status of this part of

Westgate Street do not contribute to the positive elements of the setting. The proposal should therefore combat both of these issues and enhance the significance of the setting towards both listed buildings. The proposed new building itself is designed to sit comfortably within its context while also not competing with the historic fabric. It is therefore considered the building makes a positive contribution to the setting of the two listed buildings.

- 5.16 It is considered that the other listed buildings on Westgate Street - notably the Fiskin and Firkin, the Queen and Royal Garage, and the Former County Club - will have their significance preserved by the alteration. In all cases the contribution of Westgate Street does contribute towards the significance of the listed buildings and the enhancement to the street should result in a small enhancement to the significance of each of the listed buildings.
- 5.17 The Heritage Impact Assessment also comments on the proposed impact on Cardiff Castle, where the new development could be glimpsed from the Norman keep. There is a large distance between the two structures and the new development should blend into the urban surroundings. It is therefore considered to have a neutral impact on the significance of Cardiff Castle.
- 5.18 With regards to the above, due to the high quality design of the new building which sits comfortably within the streetscene, and the refurbishment to the frontages of the Old Head Post Office and the County Court Building, it is considered that the contribution made by the setting to all nearby listed buildings will be enhanced.
- 5.19 **Transportation:** The Officer has no objection subject to standard cycle parking, construction management plan, and access road conditions, and a legal agreement for highway improvement/ public realm works to Westgate Street. He makes the following comments:
- 5.20 From a transport perspective the proposal represents change of use of an existing building/car park, which already has an impact in terms of vehicle parking and movements; with associated new build providing increase in floor area, in a city centre location where the type and form of the proposed development is considered appropriate.
- 5.21 The submitted TA identifies that there are some 42 car parking spaces for the existing uses, made up of approximately 27 basement parking spaces, 4 spaces to the rear of County Court and 11 external spaces on the vacant car park site, all accessed from Westgate Street to the northwest of the existing building.
- 5.22 The existing location and form of the vehicle access to the site is proposed to be retained, including drop-kerb crossover from Westgate Street, along with the drive arrangement along the north-western flank of the building. It is also

suggested that the current vehicle gates will be removed as part of the proposal. An indicative vehicular access arrangement and tracking is shown in the submitted TA, and demonstrates that the retained access and proposed parking are useable by 1.5t panel van and standard car respectively.

- 5.23 The proposed new-build wing towards the north of the site is located on an existing car park which, along with other development related parking impacts, will result in an overall reduction of the on-site car parking provision from an existing 42 spaces to 4 spaces, located in the basement. Given the city centre location and adoption of maximum car parking standards, along with the Council's wider aspiration to reduce the use of private cars within the city centre, this reduction is considered to be compliant with the adopted Policy/SPG and is welcomed.
- 5.24 As with the car parking, cycle access and parking will be gained via the existing site access to the north-western boundary of the site. In accordance with the SPG standards, a minimum provision of 5 cycle parking spaces plus 1 space per 20 rooms is required. This equates to a total of 14 cycle parking spaces, which are proposed to be located within the basement area. The submission identifies that a power supply to the cycle parking will be considered, due to the growing popularity of e-bikes, and that an alternative location for cycle parking could be made available within the courtyard area. However it is also considered that this area is likely to be used for occasional drop-off/access or external dining so is probably not ideally suited to the provision of cycle parking.
- 5.25 Development servicing will be undertaken by a mix of small van (Transit size) to the rear of the basement, using an external hoist to gain access into the lower basement kitchen, and by larger vehicles parking on the Principality stadium access road, off-loading to trolleys which can be taken to the basement hoist or to storage space in the car park. I am advised that some goods (laundry for example) will also be moved by trolley from the vans to stores and lifts within the basement car park. The submitted tracking confirms that there is sufficient space at the rear of the function room for a van to park and turn without blocking the Civil Justice Courts access through the basement.
- 5.26 With reference to customer access, it is noted that site is well served by public transport, with Cardiff Central train station only 350 metres to the south-east (less than a five minute walk), bus stops immediately outside the site, taxis ranks to the north and south and in the future the new Central Square transport interchange will open, offering extensive bus based transport facilities. For customers who chose to drive to the development there is an NCP car park a short walk away and I understand a valet parking service will be available.

- 5.27 It is anticipated that Central Square will become a busy, thriving, lively new part of the city within the next few years as ongoing developments are completed/occupied. The application site is therefore considered by the developer to be in an optimum position to build on the success of the new businesses and take advantage of the sustainable transport options available locally.
- 5.28 *Conditions/S106 contributions:* Standard Cycle Parking condition C3S; Standard Details of Access Road Junction condition C3F; and Construction and Traffic Management Plan condition.
- 5.29 Footway reinstatement and improvement works condition or S106 contribution: Either A) Condition: No part of the development hereby permitted shall be commenced until a scheme of environmental footway improvements to Westgate Street adjacent to the site has been submitted to and approval in writing by the LPA. The scheme should include as required, but not be limited to, the closure and reconstruction as footway of any area of redundant crossover/access to the site, and the reconstruction/resurfacing and re-kerbing of the remaining footway on Westgate Street adjacent to the site, including surfacing, kerbs, edging, channels; the provision/renewal/improvement of street lighting and other street furniture. The agreed scheme to be implemented to the satisfaction of the LPA prior to beneficial occupation of the site. Reason: To ensure the comprehensive enhancement/ improvement of the adjacent public highway in the interests of highway and pedestrian safety, and to facilitate access to the proposed development.
- 5.30 Or B) S106 contribution: Towards the cost of a scheme of environmental footway improvements to Westgate Street footway adjacent to the site, to be undertaken by the Council, and to include the closure and reconstruction as footway of any area of redundant crossover/access, and the resurfacing and re-kerbing of the remaining footway adjacent to the site. To ensure the comprehensive enhancement/improvement of the adjacent public highway in the interests of highway and pedestrian safety, and to facilitate access to the proposed development.
- 5.31 Second Recommendation: The highway works conditions and any other works to existing or proposed adopted public highway are to be subject to an agreement under Section 278 and/or S38 of the Highways Act 1980 between the developer and Local Highway Authority.
- 5.32 Given the policy compliant and otherwise acceptable nature of the proposed development, along with the availability of sustainable walking, cycling and public transport options locally. The Officer concludes that an objection on parking or traffic grounds would be unsustainable and any reason for refusal

on this basis would not withstand challenge, and therefore has no objection to the application subject to the above requested conditions/S106.

- 5.33 **Highways (Drainage):** No consultation response has been received to date.
- 5.34 **Pollution Control (Contaminated Land):** The Officer notes the contents of the Preliminary Geo-environmental and Geo-technical Assessment which provides an initial assessment of the site and identifies potential risks to human health from contaminants and ground gases. The Shared Regulatory Services Environment Team has no objection subject to standard ground gas, contaminated land assessment, remediation and verification conditions, and unforeseen contamination, imported soils and aggregates, and use of site won materials conditions, and a contamination and unstable land advisory notice.
- 5.35 **Pollution Control (Noise & Air): Noise:** The PC Officer has no objection subject to CEMP, plant noise road traffic noise, entertainment noise from bars/restaurants/function rooms, and kitchen extraction conditions.
- 5.36 **Air Quality:** The site is located within the Cardiff City Centre AQMA (formerly called St Mary Street AQMA), which was initially declared in 2002 and was extended in 2013 in response to monitored exceedances of the NO₂ air quality objectives in Westgate Street.
- 5.37 The officer notes that the submitted AQ Assessment identifies a medium risk in relation to dust control during the construction phase and a condition is requested requiring a detailed dust management plan is required as part of the CEMP.
- 5.38 SRS has concerns on the AQ during the operational phase (2021 year of opening) based on the AQ Assessment which identifies exceedance of the short-term 1hr NO₂ AQ objective for certain receptors on the ground floor of the proposed development. The AQ Officer recommends that the applicant makes a commitment to developing and implementing a mitigation measures package to address the identified AQ concerns.
- 5.39 **Waste Management:** No objection.

6. **EXTERNAL CONSULTEE RESPONSES**

- 6.1 **Welsh Water:** No objection subject to a drainage scheme condition.
- 6.2 Comments (2.7.19): We refer to the additional information received and write further to our previous letter dated 19/06/2019 in which we raised concerns regarding the ability of the existing potable water network to accommodate the proposed hotel.

- 6.3 The applicant has commissioned a Hydraulic Modelling Assessment to consider any impact of the additional demand expected from the hotel on top of the existing office use. The modelling has concluded that the existing network can serve the proposed development and we can therefore remove the suggested condition to submit a potable water scheme.
- 6.4 Notwithstanding the above, it is unclear whether this application requires SAB approval for the disposal of surface water, however for full completeness and in the absence of a SAB application, we offer the following comments: It is likely that further investigations and measures to use sustainable drainage systems will be required and the applicant is advised to engage with the SAB to progress with a surface water strategy.
- 6.5 In terms of foul water we note that the current building has two existing connections which convey both foul and unrestricted surface water to the public sewer network. We note that the intention is to reuse these existing connections to serve the new development and that no new connection direct to the public sewer is required. If this understanding is incorrect and a connection is sought to either a brick work sewer or 900mm concrete sewer then we request that the applicant contacts us direct to discuss this matter further.
- 6.6 Notwithstanding the above, if you are minded to grant planning permission in advance of the above information being submitted, we request that the following conditions and advisory notes are included within any subsequent consent.
- 6.7 *Drainage scheme condition:* No development shall commence until a drainage scheme for the site has been submitted to and approved in writing by the Local Planning Authority. The scheme shall provide for the disposal of foul, surface and land water, and include an assessment of the potential to dispose of surface and land water by sustainable means. Thereafter the scheme shall be implemented in accordance with the approved details prior to the occupation of the development and no further foul water, surface water and land drainage shall be allowed to connect directly or indirectly with the public sewerage system. Reason: To prevent hydraulic overloading of the public sewerage system, to protect the health and safety of existing residents and ensure no pollution of or detriment to the environment.
- 6.8 *Advisory note:* As of 7th January 2019, this proposed development is subject to Schedule 3 of the Flood and Water Management Act 2010. The development therefore requires approval of Sustainable Drainage Systems (SuDS) features, in accordance with the 'Statutory standards for sustainable drainage systems – designing, constructing, operating and maintaining surface water drainage systems'. It is therefore recommended that the

developer engage in consultation with Cardiff Council, as the determining SuDS Approval Body (SAB), in relation to their proposals for SuDS features. Please note, DCWW is a statutory consultee to the SAB application process and will provide comments to any SuDS proposals by response to SAB consultation.

- 6.9 ***Glamorgan-Gwent Archaeological Trust (GGAT):*** Information in the Historic Environment Record shows that the application area within the Cardiff Archaeologically Sensitive Area, delineated for the importance and concentration of remains from the Roman period onwards to the Civic buildings of the late 19th and early 20th centuries. Historic mapping shows that the course of the River Taff was formerly to the east, and that the development area was within the former course until its alteration in the 1840s to allow the construction of the GWR. The supporting documentation includes a Heritage Impact Assessment, and an Archaeological Heritage Appraisal.
- 6.10 These documents assess the potential impact of the development on the historic listed buildings (Cadw references 13825 (Post Office) and 13826 (County Court)), and the buried archaeological resource. These detail the construction and use of the buildings, and their subsequent alteration, with the façades being the significant elements described.
- 6.11 It is our opinion that it is unlikely that any archaeological deposits would be encountered during the proposed development, as we make no recommendation for mitigation. As the archaeological advisors to your Members, we have no archaeological objection to the determination of the application.
- 6.12 ***South Wales Police:*** SWP has no in-principle objection to the proposals and makes a number of recommendations to achieve a safe and secure environment. The response notes that the DAS does not include a section on community safety, that the hotel will be a designated 'crowded place' and therefore at risk of a terrorist attack, and that there may be limitations as to what security measures can be put in place given that it is a listed building.
- 6.13 ***Natural Resources Wales:*** No objection to the proposed development as submitted. Advice provided in relation to flood risk. NRW note the findings of the Bat and Nesting Bird Survey Report and have no adverse comments to make in relation to European Protected Species.

7. **REPRESENTATIONS**

- 7.1 The proposals were advertised as a major application, a listed building consent application, and a conservation area consent application, in the press and on site. Neighbours and Local Members were consulted.

- 7.2 *Representations on May 2019 application plans:* A total of 17 letters of objection from residents of Cardiff and environs, and one letter from Avison Young acting on behalf of HM Courts & Tribunals Services raising concerns, have been received.
- 7.3 Residents object on the following grounds: Loss of historic buildings/building fabric, in particular the spiral staircase, and bland modern design not in keeping with the listed buildings. There is also one objection on the grounds of lack of parking and impact on bus stop locations during construction works.
- 7.4 Avison Young raise the following concerns on behalf of HM Courts & Tribunals Services who use the Cardiff Civil and Family Justice Centre building to the immediate south of the application site (on the corner of Westgate Street and Park Street):
- The potential for excessive noise, vibration and dust to be generated during both the demolition and construction phases of the development. Mitigation will be required to avoid such matters affecting the Justice Centre operations and potentially damaging the building's ventilation plant and equipment. We request this matter is controlled by way of condition requiring a Construction Environmental Management Plan (CEMP) to be submitted to and approved in writing by the Council prior to the commencement of the works.
 - There is potential for noise to be generated during the operations of the new use from mechanical services plant, delivery activity and from the bars / function rooms. As a minimum, the noise breakout associated with the bars / function rooms should not exceed background noise levels.
 - The demolition / construction traffic associated with the site's redevelopment has potential to result in conflict with operational traffic associated with the Justice Centre – this must be avoided. The access from Westgate Street is used primarily by the judiciary who require unencumbered access (mainly at the start and end of the working day) on foot and by vehicle. Security is the main concern in this regard, since members of the judiciary are at risk due to the nature of their work and are, from time to time, the subject of various threats of harm. There have been previous security-related instances in respect of the Justice Centre so it is imperative that members of the judiciary are not held queuing into or out of the access road onto Westgate Street. To address this matter, we would be grateful if a suitably worded condition could be imposed on any planning permission requiring a Construction Traffic Management Plan (CTMP) be submitted to and approved in writing by the Council prior to the commencement of the works.
 - We note that improvement works are proposed to the drainage arrangements for the buildings. Foul flows generated by the Justice Centre are communicated to the existing private pumping station on the site prior to being discharged to the adopted sewer located in Park

Street. Whilst we appreciate improvement works are required to facilitate the proposals, there can be no disruption to the drainage arrangements for the Justice Centre, which must continue unfettered throughout the demolition / construction process and operation of the new hotel use.

8. **ASSESSMENT**

8.1 The following considerations are material to the determination of the application:

- Proposed hotel use
- Loss of Employment Land/ Premises
- Building Design
- Impact on heritage assets
- Consultation responses
- Representations

These considerations are dealt with in turn below:

8.2 **Proposed hotel use:** Policy EC5 (Hotel Development) of the Local Development Plan identifies the Central Business Area as an appropriate location for hotel developments, subject to considerations of scale, location, design, amenity and transportation being acceptable.

8.3 **Loss of Offices in the Central Business Area (CBA):** The applicant has identified in their Planning Statement that Parkgate House has remained vacant for a period of over 10 years, despite having been actively marketed for Class B1 (office) use throughout this period, which is a consideration in determining the acceptability of this proposal. The former County Court building has also been vacant or substantially vacant for a number of years. In addition the proposed development would bring long term vacant premises back into beneficial use, and given the nature of the proposed use as a hotel would result in wider economic, social and regeneration benefits.

8.4 **Building Design:** The policy framework for assessing the design is LDP policy KP5 *Good Quality and Sustainable Design*, and LDP policy EN9 *Conservation of the Historic Environment*.

8.5 **Scale and massing:** The 7 storey new build element to the rear of the former County Court building is the same height as the extension to the rear of Parkgate House and given this, the immediate context of Stadium Tower, and the location of the increased height and massing to the rear of the site away from the street frontage, is considered appropriate.

8.6 Different heights were assessed for the new building where it fronts Westgate Street and sits alongside the listed County Court building. The street in general is a mix of building heights; the general parapet level for properties

fronting the street is at 4th floor but some buildings, including the listed County Club, are a storey less, whilst others are higher, the Marlborough Apartments rise to 6 storeys. One of the principle characteristics of the street is its varying heights and massing, and the backdrop of significantly higher buildings. The conclusion reached was that 5 storeys is of sufficient scale for the prominent corner location without dominating the neighbouring listed building.

- 8.7 In views up and down Westgate Street and from Golate Street the scale and massing of the new-build element appears comfortable in the context of the street. Massing and scale is considered acceptable and amendments have therefore focused on the elevational treatment and materiality of the new building.
- 8.8 *Elevational treatment and materials:* A new extension to the flamboyant County Court and Parkgate facades and roofs requires a confident response. One that seeks to replicate the materials and workmanship of the existing facades depends for its success on the availability of matching materials and skilled labour and would be prohibitively expensive. The response adopted for this building is to make use of modern materials and methods to create a restrained contemporary building that enhances the streetscape and compliments its listed neighbour.
- 8.9 The 5 storey element fronting the street has a strong framed base with full height recessed infill glazing above a c. 1m high podium which incorporate the level change. The top of the building has been amended and is expressed as a relatively lightweight colonnade with metal balustrade and set back penthouse hotel room and balcony. The middle 3 storeys pick up on the proportions of the listed building facades with regular large windows with recessed stonework frames, frameless glazing, and simple decorative metal balustrades. The material used is a precast stone cladding to match the adjacent listed County Court building
- 8.10 The 7 storey element to the rear continues the full height glazed ground floor storey and the vertically proportioned upper storeys around the corner. The top storey reintroduces the large framed bays of the ground floor. To break up the massing and provide more visual interest to this long flank elevation a dark charcoal brick is used in panels that alternate a smooth and textured finish, arranged in a chequerboard pattern aligned with the fenestration. The stair tower to the rear, visible in views from Park Street and the Stadium concourse, is also in charcoal brick with a glazed lantern and windows to each storey lighting the stairwell.
- 8.11 The use of different textured dark brickwork in counterpoint to the precast stonework picks up on the use of polychromatic brickwork on the Victorian buildings on Westgate Street. Recessed window surrounds and decorative ironwork for the faux balustrades adds a degree of richness and interest to the

elevations. Proposed materials and detailing are considered appropriate for the historic and street context, and acceptable subject to conditions requiring more details on stone cladding, brickwork, balustrade design/material etc prior to above-ground development.

- 8.12 *Impact on streetscape:* The new extension infills a prominent gapsite that has been vacant since construction of the Stadium, and it will replace a blank brick gable wall (never intended to be visible) with a new high quality corner building that addresses both Westgate Street and the very visible elevation facing the listed County Club building. The visual impact on Westgate Street is significant and beneficial, particularly in views looking along Westgate Street from the northwest. In views from the southeast the new building effectively bookends the listed frontage and enhances the setting of the listed frontage.
- 8.13 *Ground floor activity:* The ground floor function room pre-event space, bar, restaurant, and main hotel entrance and reception create an attractive and lively street frontage at this hitherto dead end of Westgate Street.
- 8.14 *Public realm enhancements:* These will be delivered via the wider Council highway and public realm improvements scheme for the whole length of Westgate Street and the developer has agreed a financial contribution of £50,000 towards this scheme. The contribution will secure the comprehensive enhancement/ improvement of the adjacent public highway in the interests of highway and pedestrian safety, and to facilitate access to the proposed development. Given that the Council plans to undertake the public realm works as part of a wider scheme, and the considerable benefit accruing to the city by bringing important listed buildings back into use, the costs of which are very significant, this sum is acceptable.
- 8.15 ***Impact on heritage assets:*** Planning Policy Wales and LDP Policy EN9 requires that development will only be permitted where it can be demonstrated that it preserves or enhances the setting of a conservation area, and that it preserves the setting of a listed building. The objective of preservation can be achieved either by development which makes a positive contribution to an area's character or appearance, or by development which leaves character and appearance unharmed.
- 8.16 It is considered that the proposal will enhance the character and appearance of the St Mary Street Conservation Area for the reasons above. It is not considered that there will be any negative impacts on any other surrounding conservation areas.
- 8.17 With regards to impact on the setting of adjacent listed buildings, given the high quality design of the new building which sits comfortably within the context of the street, and the refurbishment to the frontages of the Old Head

Post Office (Parkgate House) and the former County Court Building, it is considered that the contribution is positive.

- 8.18 **Consultation responses:** *Pollution Control (Noise):* The Hotel is not a residential premises and its occupants are transient, and as such the implications of noise on health and quality of life (the purpose of the guidance on noise levels for residential dwellings) are not applicable or transferrable. The operator will of course seek to reduce noise levels within the hotel room to a reasonable level, for commercial purposes, however there is no requirement for this to be prescribed within a condition which, with respect to the statutory tests for planning conditions, is neither necessary nor reasonable.
- 8.19 Such a condition would also require the applicant to make unreasonable and extensive alterations to the listed building, including to windows on the principle façade, which could alter the appearance of the building and may not be acceptable and certainly would not be desirable.
- 8.20 The entertainment noise condition has been made more specific and tailored to address potential noise breakout on the neighbouring noise sensitive court rooms when those rooms are in session.
- 8.21 *Air Quality:* A revised ventilation strategy has been received. Any observations from the Air Quality Officer will be reported to Committee as a late rep.
- 8.22 *Public realm:* A financial contribution of £50k has been agreed towards the Westgate Street/ Wood Street/ Havelock Street scheme of public realm / highway improvement works being undertaken by the Council.
- 8.23 **Representations:** Objections on grounds of partial demolition of listed buildings, design, and impact on heritage assets have been addressed above.
- 8.24 A Construction Environment Management Plan (CEMP) condition is imposed which requires applicants to provide various details of the demolition and construction works. Discharge of this condition requires that reasonable access for other users of the access is maintained in the interests of highway safety and public amenity. The condition also seeks inter alia to impose controls over dust, vibration, and noise emissions.
- 8.25 It should be noted that access at all times during the construction period for those using the Courts is a matter between the applicant and business owners given that it is a private access.
- 8.26 However given the obviously sensitive nature of the Justice Centre operation and specific (private) access requirements it is advised that the HMCTS make

direct contact with Rightacres and seeks to secure its access (and other) requirements from the outset. In which respect and as far as the highway is concerned, the purpose of a Construction Traffic management Plan (CTMP) is to minimise disruption to and maintain the safety of the public highway network; not the securing of private rights across development sites. Additionally any action taken by Highways in relation to a transgression of a CTMP restriction will necessarily be retrospective and potentially limited in the event of repetition.

- 8.27 In relation to other matters raised by representations parking provision is in accordance with policy and the temporary relocation of bus stops during the construction period is not a planning matter.

9. CONCLUSION

- 9.1 The proposals refurbish and bring back into use vacant listed buildings and redevelop a prominent city centre corner site on Westgate Street to provide a 175 bed 4* hotel in a distinctive high quality landmark building. The proposals enhance the character and appearance of the conservation area and preserve the setting of the listed buildings.

- 9.2 The granting of planning permission is recommended subject to conditions and the signing of a Section 106 legal agreement to secure a financial contribution of £50,000 towards the cost of a scheme of environmental footway improvements to Westgate Street footway adjacent to the site, to be undertaken by the Council, and to include the closure and reconstruction as footway of any area of redundant crossover/access, and the resurfacing of the remaining footway adjacent to the site with granite paving, the replacement of kerbstones, edging, and channels, and the provision/renewal/improvement of street lighting and other street furniture where necessary.

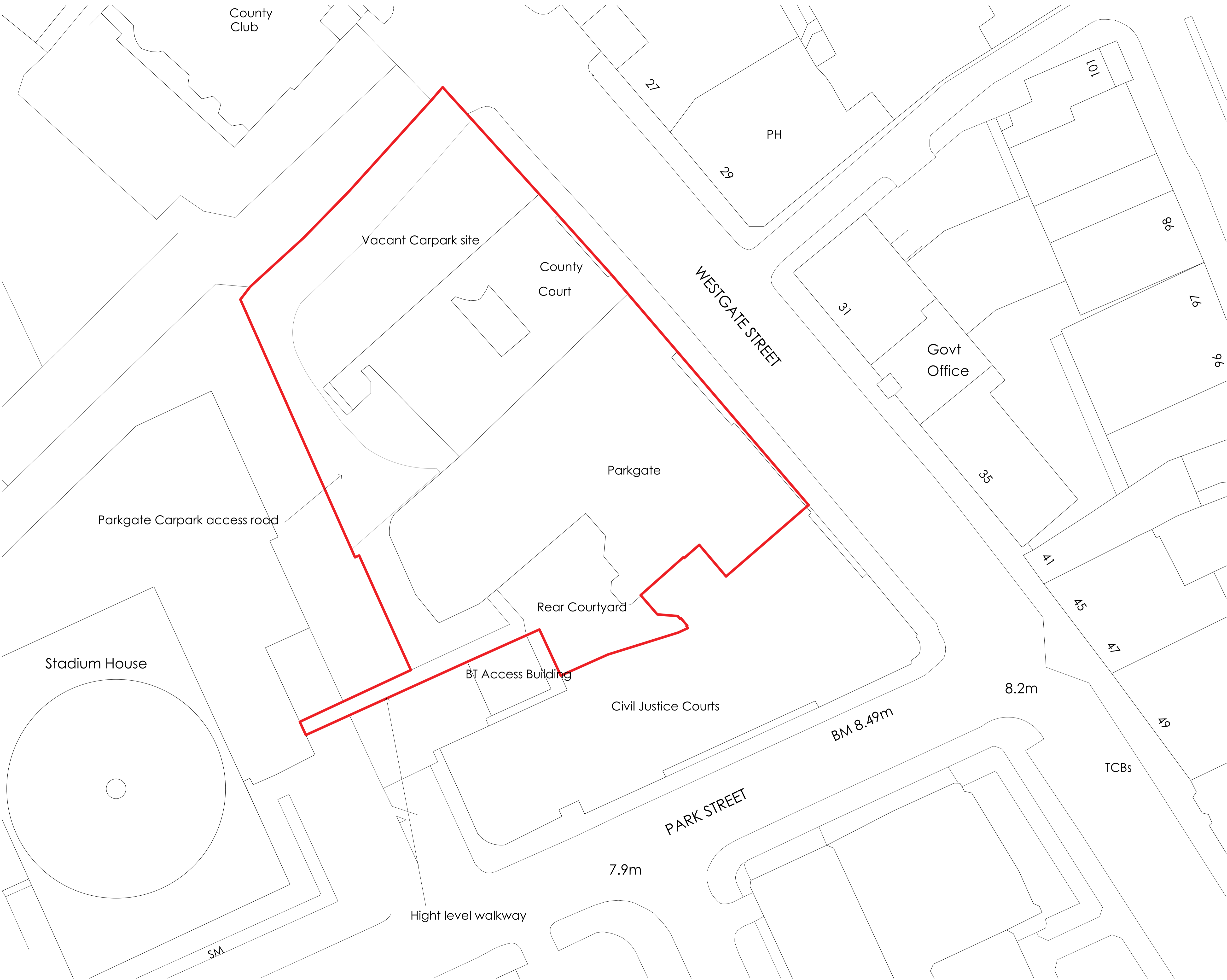
10. OTHER LEGAL CONSIDERATIONS

- 10.1 Crime and Disorder Act 1998 – Section 17(1) of the Crime and Disorder Act 1998 imposes duty on the Local Authority to exercise its various functions with due regard to the likely effect of the exercise of those functions on, and the need to do all that it reasonably can to prevent, crime and disorder in its area. This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable increase in crime and disorder as a result of the proposed decision.

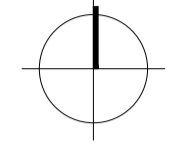
- 10.2 Equality Act 2010 – The Equality Act 2010 identifies a number of ‘protected characteristics’, namely age; disability; gender reassignment; pregnancy and maternity; race; religion or belief; sex; sexual orientation; marriage and civil partnership. The Council’s duty under the above Act has been given due consideration in the determination of this application. It is considered that the

proposed development does not have any significant implications for, or effect on, persons who share a protected characteristic.

- 10.3 Well-Being of Future Generations Act 2016 – Section 3 of this Act imposes a duty on public bodies to carry out sustainable development in accordance with the sustainable development principle to act in a manner which seeks to ensure that the needs of the present are met without compromising the ability of future generations to meet their own needs (Section 5). This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable impact upon the achievement of wellbeing objectives as a result of the recommended decision.



rev	date	initials	revision	checked
A	16/05/19	VR	Planning Issue	BC



Planning

Site Plan

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Client



Project
The Westgate Hotel Cardiff
Westgate Street, Cardiff

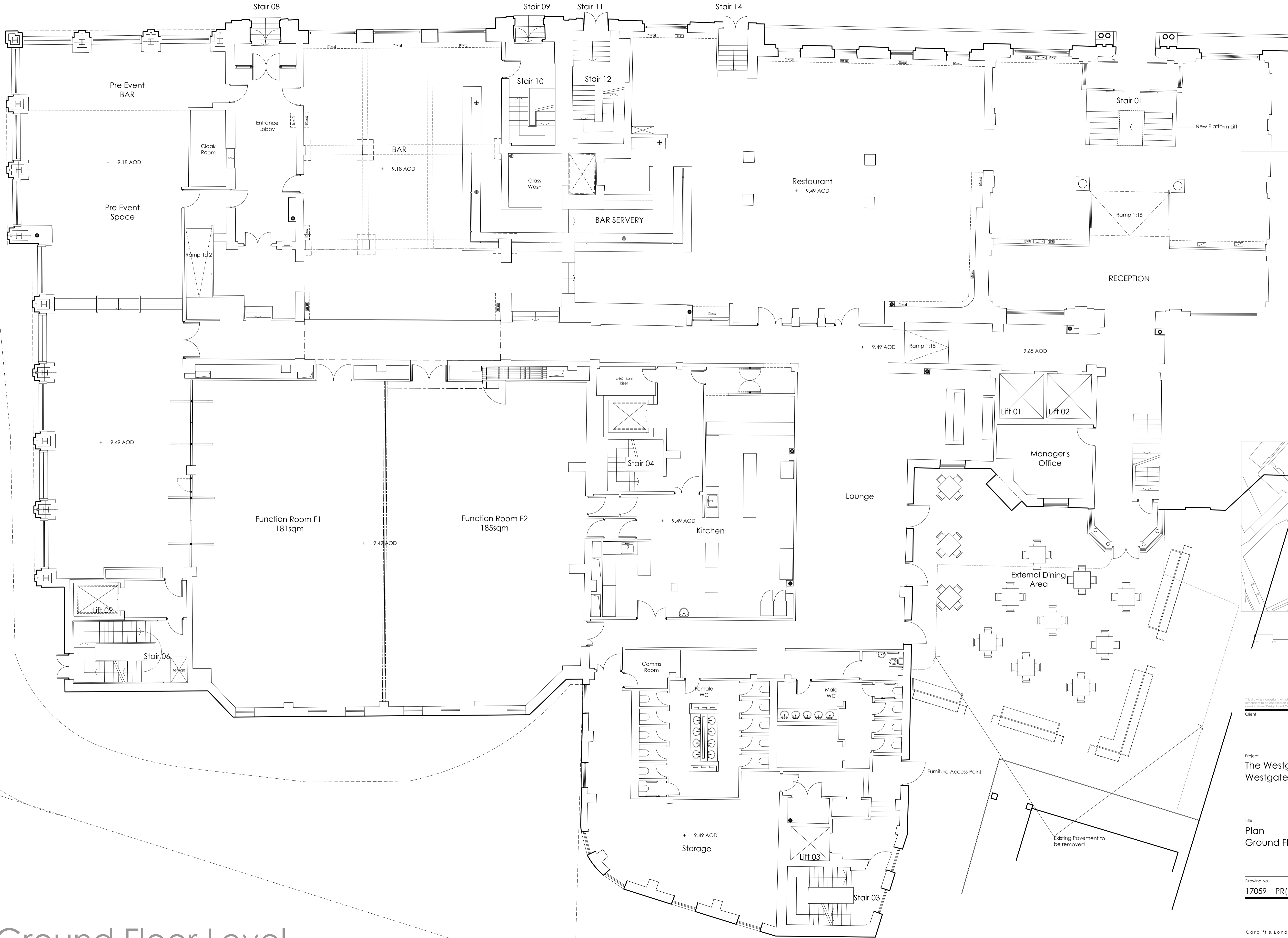
Title
Site Plan

Drawing No	Rev	Drawn	Date	Scale
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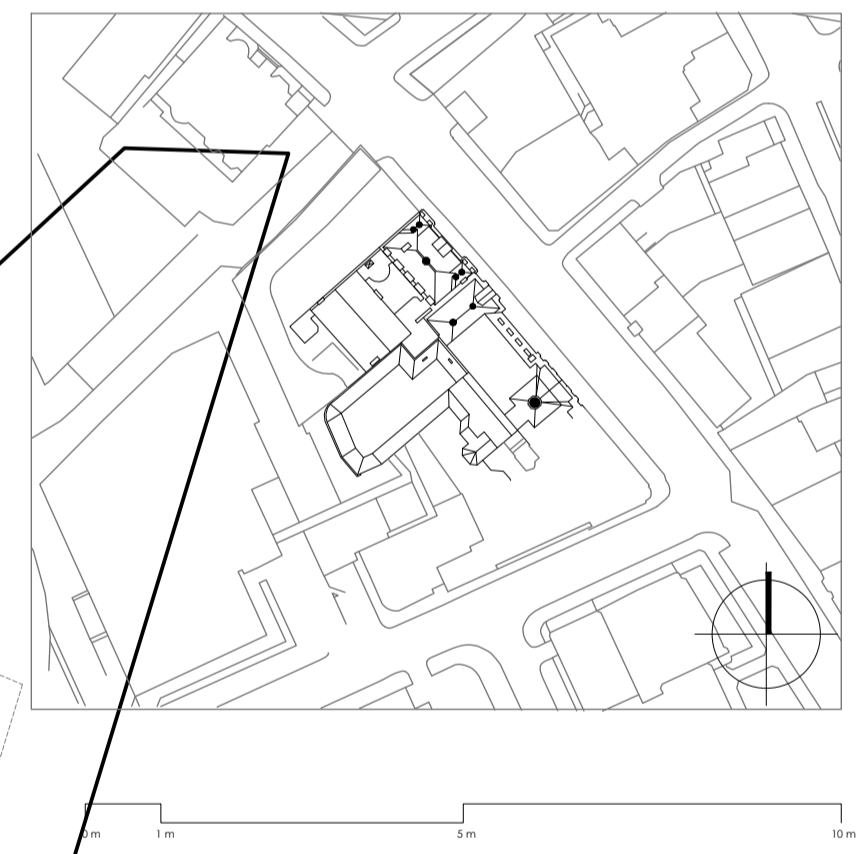
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Cardiff & London
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rev	date	initials	revision	checked
A	18/04/19	JG	ISSUED FOR PLANNING	SG
B	10/05/19	SQ	General update	AF
C	16/05/19	OM	Planning Issue	SG
D	11/06/19	OM	Level Changes	SG



- Heating/Cooling Fan
- Fan Coil Units
- Heating/Cooling Fan & Vent Intake/Extract
- Ventilation Riser (full height)
- SVP
- Floor Galley



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Client
RIGHTACRES
PROPERTY

Project
The Westgate Hotel Cardiff
Westgate Street, Cardiff

Title
Plan
Ground Floor as Proposed

Drawing No	Rev	Drawn	Date	Scale
17059	PR(P)100	D	OM 12/04/2019	1:100 @ A1

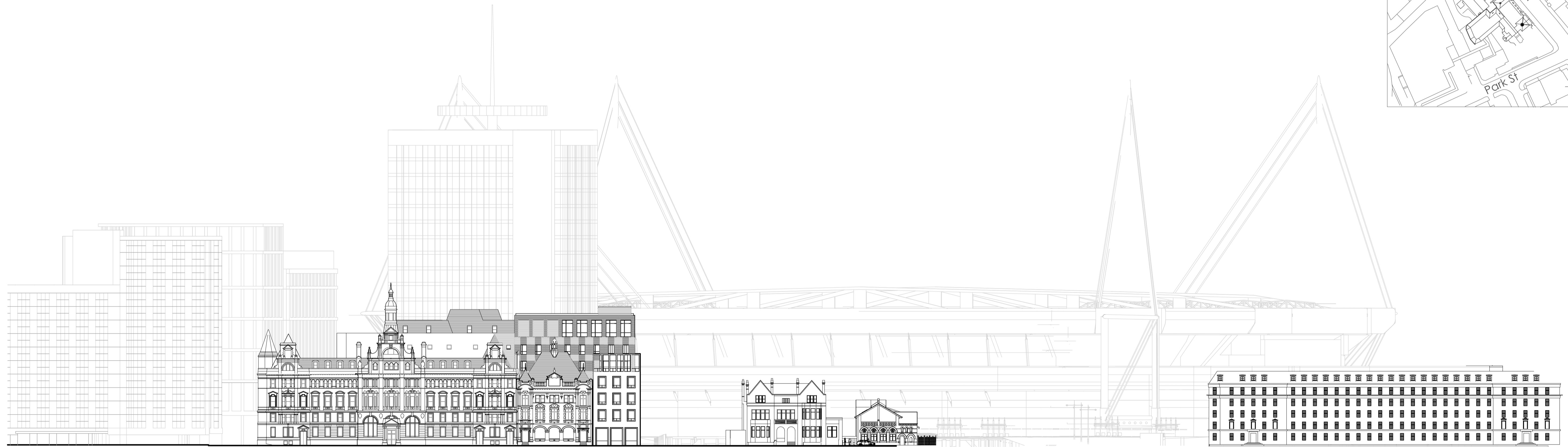
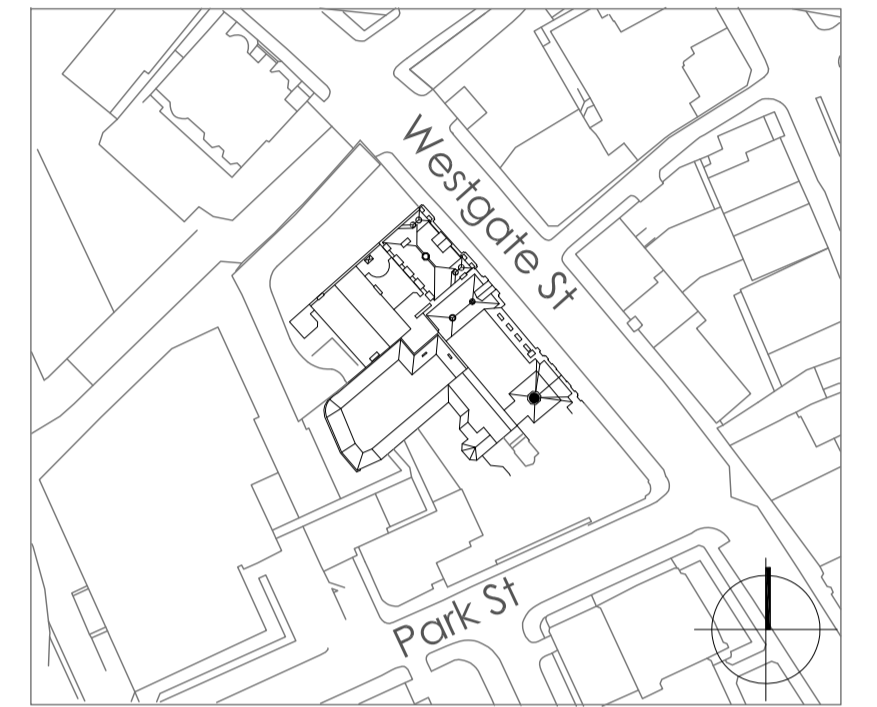
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Ground Floor Level

S:\17059 - The Westgate Hotel Cardiff\GAUNT FRANCIS PROJECT\WDR\DWG\GND FLR - WEST DWG05 (100) Plans

rev	date	initials	revision	checked
A	18/04/19	JG	ISSUED FOR PLANNING	SQ
B	15/07/19	JG	Amendments to brick ornamentation	SQ

Planning



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Client



Project

Westgate Hotel Cardiff

Stage 2

Title

Proposed Westgate Street Context Elevation
Westgate Street

Drawing No	Rev	Drawn	Date	Scale
17059	PR(EL)205	B	JG	12/04/2019 1:200 @A1

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Architects

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Proposed Westgate Street Context Elevation

1:17059_Proposed Westgate Hotel Cardiff_GFA_PROJECT WORK/DRAWINGS/14-1887 DWG/03/2021 Rev001



Not In Service

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Applications decided by Delegated Powers between 01/07/2019 and 31/07/2019

Total Count of Applications: 289

ADAM

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/01407/DCH	03/06/2019	Ahmad	DEMOLITION OF SINGLE STOREY OUTBUILDING AND CONSTRUCTION OF SINGLE STOREY FLAT ROOFED BATHROOM / LOBBY EXTENSION WITH SOME INTERNAL ALTERATIONS. PROVISION OF NEW PRINCIPAL ENTRANCE OFF PLANET STREET	48 PLANET STREET, ADAMSDOWN, CARDIFF, CF24 0HZ	52	True	Permission be granted	25/07/2019
19/01580/DCH	05/06/2019	Amin	REMOVAL OF GARAGE AT REAR OF PROPERTY AND BUILD A NEW GARAGE WITH ROLLER SHUTTERS	36 STACEY ROAD, ADAMSDOWN, CARDIFF, CF24 1DU	42	True	Permission be granted	17/07/2019

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/01336/MJR	03/05/2019	Crosslane Student Developments (UK) Ltd	DISCHARGE OF CONDITION 25 (CYCLE PARKING) OF 17/02618/MJR	BOWLING GREEN, HOWARD GARDENS, HOWARD GARDENS, ADAMSDOWN	82	False	Full Discharge of Condition	24/07/2019

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/01450/MNR	20/05/2019	Johal	PROPERTY HAS BEEN SPLIT INTO TWO FLATS, AND HAVE BEEN USED AS TWO SEPARATE FLATS FOR THE LAST 26 YEARS	81 PEARL STREET, ADAMSDOWN, CARDIFF, CF24 1PJ	51	True	Permission be granted	10/07/2019

19/00981/MNR	21/03/2019	City of Cardiff Council	ERECTION OF A PERMANENT DEMOUNTABLE UNIT FOR COMMUNITY ENGAGEMENT	PART OF LAND AT ADAMSDOWN PRIMARY SCHOOL, SYSTEM STREET, ADAMSDOWN, CARDIFF, CF24 0JF	112	False	Permission be granted	11/07/2019
19/01559/MNR	28/05/2019	Amzac Estates Limited and Clearsprings Ready Homes Limited	CHANGE OF USE TO CLASS B1 (BUSINESS) OFFICE	THE AVALA, 154-156 NEWPORT ROAD, ROATH, CARDIFF, CF24 1DJ	58	False	Permission be granted	25/07/2019
19/01241/MNR	26/04/2019	Ms Sarah Powell	TWO STOREY REAR EXTENSION WITH LOFT CONVERSION INCLUDING REAR DORMER AND FRONT APEX ROOF EXTENSION RAISING RIDGE LINE WITH EXTERNAL ALTERATIONS TO CREATE THREE SELF CONTAINED FLATS	13 BROADWAY, ADAMSDOWN, CARDIFF, CF24 1QD	88	False	Permission be granted	23/07/2019
19/01694/MNR	10/06/2019	Threadneedle UK Property Authorised Investment Fund	EXTERNAL ALTERATIONS TO SHOPFRONT INCLUDING REMOVAL OF EXISTING ENTRANCE CANOPY/STRUCTURE; RE-CLADDING; NEW GLAZED CURTAIN WALLING; NEW BOLLARDS	DUNELM (SOFT FURNISHINGS) LTD UNIT 1A, CITY LINK, NEWPORT ROAD, ADAMSDOWN, CARDIFF, CF24 1PQ	49	True	Permission be granted	29/07/2019

BUTE

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/01601/MJR	31/05/2019	Fusion Cardiff Capital Quarter LLP	RELOCATION OF GYM, TO A PRIMARY FRONTAGE, REPLACING THE PREVIOUSLY PROPOSED COMMERCIAL UNIT - PREVIOUSLY APPROVED UNDER 16/03041/MJR	LAND AT HERBERT STREET, ATLANTIC WHARF, CARDIFF, CF10 4AY	53	True	Permission be granted	23/07/2019

18/03002/MJR	19/12/2018	Ronsons Developments Ltd	REDEVELOPMENT OF EXISTING CAR PARK TO 27 FLATS IN TWO STRUCTURES INCORPORATING PARKING FOR THE NEW FLATS, EXISTING ABERDARE HOUSE FLATS AND RETAIL/COMMERCIAL UNITS AT THE GROUND FLOOR INCORPORATING A1/A2/A3/B1 FLEXIBLE USE UNITS	ABERDARE HOUSE, MOUNT STUART SQUARE, BUTETOWN, CARDIFF, CF10 5FJ	222	False	Permission be granted	29/07/2019
19/01438/MJR	13/05/2019	Associated British Ports	VARIATION OF OF CONDITION 5 OF OUTLINE PLANNING PERMISSION 16/02730 TO READ "IN RESPECT OF THE APPROVAL OF RESERVED MATTERS, THE APPLICANT SHOULD NOTE THAT NO PART OF THE BUILDINGS TO BE PROVIDED SHALL EXCEED 11M EAVES OR 14M RIDGE HEIGHT."	LAND ADJACENT TO LONGSHIPS ROAD AND COMPASS ROAD, CARDIFF BAY, CF10 4RP	50	True	Permission be granted	02/07/2019
19/01385/MJR	09/05/2019	Co-operative Group Food Ltd	DISCHARGE OF CONDITION 11 (ARRANGEMENTS FOR DELIVERY VEHICLES) OF 19/01112/MJR	NO 2 CAPITAL QUARTER, TYNDALL STREET,CARDIFF, CF10 4BQ	76	False	Full Discharge of Condition	24/07/2019
19/01897/MJR	02/07/2019	Natural Resources Wales	MAINTENANCE DREDGING AND DISPOSAL OF SEDIMENT	CARDIFF BAY APPROACHES, LOCKS AND OUTER HARBOUR	16	True	Raise No Objection	18/07/2019
19/01742/MJR	18/06/2019	DS Properties (Cardiff Bay) Ltd	DISCHARGE OF CONDITIONS 26 (CCTV), 18 (SCHEME OF ARCHITECTURAL DETAILING), 19 (MATERIALS) AND 21 (LIGHTING) OF 17/00224/MJR	CARDIFF BAY STATION, BUTE STREET, BUTETOWN	31	True	Full Discharge of Condition	19/07/2019
19/01883/MJR	02/07/2019	Platform	DISCHARGE OF CONDITIONS 18 (GROUND GAS PROTECTION), 19 (CONTAMINATED LAND MEASURES - ASSESSMENT) AND 20 (CONTAMINATED LAND MEASURES - REMEDIATION & VERIFICATION PLAN) OF 18/02383/MJR	FORMER BROWNING JONES AND MORRIS, DUMBALLS ROAD, BUTETOWN, CARDIFF, CF10 5FE	27	True	Partial Discharge of Condition (s)	29/07/2019

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
18/02958/MNR	20/12/2018	Quin & Co	CHANGE OF USE OF EXISTING BUILDING TO PROVIDE 2NO. COMMERCIAL UNITS AT GROUND FLOOR AND 4NO. 2 BEDROOM APARTMENTS OVER FIRST AND SECOND FLOORS	JUBORAJ, STUART STREET, CARDIFF BAY, CARDIFF, CF10 5BW	200	False	Permission be granted	08/07/2019
19/00990/MNR	22/03/2019	Miles	CHANGE OF USE FROM 2 FLATS (2NO. 2-BED UNITS) TO 4 FLATS (2NO. STUDIO AND 2NO. 1-BED UNITS) (USE CLASS C3) AT FIRST AND SECOND FLOORS	18 JAMES STREET, BUTETOWN, CARDIFF, CF10 5EX	119	False	Permission be granted	19/07/2019
19/01622/MNR	04/06/2019	Everyman Group	EXTERNAL ALTERATIONS, INCLUDING NEW CANOPY WITH FESTOON LIGHTING TO UNDERSIDE	UNIT 13 AND 14, MERMAID QUAY, BUTE CRESCENT, CARDIFF BAY, CARDIFF, CF10 5BZ	51	True	Permission be granted	25/07/2019
A/19/00069/MNR	04/06/2019	Everyman Group	EVERYMAN ADVERTISEMENTS - 2 NO. LOGO SIGNS 1 NO. HIGH LEVEL LOGO SIGN 2 NO. POSTER BOXES VARIOUS VINYLs TO FIT GLAZING	UNIT 13 AND 14, MERMAID QUAY, BUTE CRESCENT, CARDIFF BAY, CARDIFF, CF10 5BZ	51	True	Permission be granted	25/07/2019
A/19/00075/MNR	12/06/2019	Insite Poster Properties Ltd	REPLACEMENT OF AN EXISTING 96-SHEET ADVERTISEMENT DISPLAY WITH AN ILLUMINATED 48-SHEET DIGITAL ADVERTISEMENT DISPLAY	LAND ON ROVER WAY, CARDIFF BAY	37	True	Permission be granted	19/07/2019
19/01410/MNR	16/07/2019	Coffi Co	PROPOSED INCREASE OF FLOOR AREA TO MEZZANINE LEVEL TO ACCOMMODATE ADDITIONAL SEATING	UNIT 31, MERMAID QUAY, TACOMA SQUARE, CARDIFF BAY, CARDIFF, CF10 5BZ	3	True	Permission be granted	19/07/2019
19/01992/MNR	16/07/2019	Schroders UK Real Estate Fund	MINOR AMENDMENTS TO FINISHING MATERIALS AND DESIGN - PREVIOUSLY APPROVED UNDER 18/1709/MNR	UNIT 13 AND 14, MERMAID QUAY, BUTE CRESCENT, CARDIFF BAY, CARDIFF, CF10 5BZ	15	True	Permission be granted	31/07/2019

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<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/01585/DCH	19/06/2019	Gregory	REAR KITCHEN EXTENSION	55 PENCISELY CRESCENT, CANTON, CARDIFF, CF5 1DT	41	True	Permission be granted	30/07/2019
19/01009/DCH	28/03/2019	Hooper-Nash	PROPOSED SINGLE STOREY SIDE AND REAR EXTENSION, HIP TO GABLE ROOF EXTENSION AND REAR DORMER AND DETACHED STUDY/HOBBY ROOM	10 PENCISELY RISE, CANTON, CARDIFF, CF5 1DX	99	False	Permission be granted	05/07/2019
19/01685/DCH	10/06/2019	Litchfield	RETAIN WET ROOM STRUCTURE AND BUILD A SMALLER SIDE EXTENSION CREATING A SMALLER KITCHEN/DINING. WINDOW TO SIDE ELEVATION CHANGES TO SUIT - PREVIOUSLY APPROVED UNDER 19/01139/DCH	15 LANSDOWNE AVENUE EAST, CANTON, CARDIFF, CF11 8BU	22	True	Permission be granted	02/07/2019
19/01873/DCH	01/07/2019	Chivers	REGULARISATION OF AS-BUILT STRUCTURE - PREVIOUSLY APPROVED UNDER 18/00847/DCH	13 FAIRFIELD AVENUE, CANTON, CARDIFF, CF5 1BR	22	True	Permission be granted	23/07/2019
19/01714/DCH	12/06/2019	Wilshaw	PROPOSED DORMER TO EXISTING ROOFSPACE CONVERSION AND ROOFLIGHT TO FRONT ELEVATION	25 VICTORIA PARK ROAD WEST, CANTON, CARDIFF, CF5 1EZ	37	True	Permission be granted	19/07/2019
19/01775/DCH	18/06/2019	Singh	REAR INFILL EXTENSION WITH ACCESS TO A UTILITY ROOM IN THE BASEMENT	61 PENCISELY ROAD, CANTON, CARDIFF, CF5 1DH	37	True	Permission be granted	25/07/2019
19/01793/DCH	19/06/2019	Evans	CONSTRUCTION OF A REAR DORMER ROOF EXTENSION AND INSERTION OF ROOFLIGHTS TO THE FRONT ELEVATION	16 FAIRFIELD AVENUE, CANTON, CARDIFF, CF5 1BS	27	True	Permission be granted	16/07/2019

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
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19/01617/MJR	14/06/2019	Ely Mill Development Company	DISCHARGE OF CONDITION 2 OF 18/02380/MJR PHASE B (SAMPLES OF EXTERNAL FINISHING MATERIAL: ROOF TILE, BRICK RENDER AND FASCIA/SOFFIT)	FORMER PAPER MILL ARJO WIGGINS, SANATORIUM ROAD, CANTON	42	True	Full Discharge of Condition	26/07/2019
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<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/00354/MNR	08/05/2019	Amin	CONVERSION FROM 3 FLATS TO 4 FLATS WITH REBUILDING REAR 2 STOREY ANNEX	70 CLIVE ROAD, CANTON	58	False	Planning Permission be refused	05/07/2019
19/00593/MNR	21/03/2019	Lufkin	CONVERSION OF FORMER RANGERS HUT INTO COFFEE SHOP	THOMPSON'S PARK RANGERS HUT, THOMPSON'S PARK, ROMILLY ROAD, CANTON	112	False	Permission be granted	11/07/2019
19/01430/MNR	24/05/2019	Hard Lines Coffee Ltd	CHANGE OF USE FROM USE CLASS A1 (SHOPS) TO USE CLASS A3 (FOOD AND DRINK) AND ASSOCIATED EXTERNAL ALTERATIONS INCLUDING NEW FLUE	GROUND FLOOR COMMERCIAL UNIT, SAINT CANNA COURT, COWBRIDGE ROAD EAST, CANTON, CARDIFF, CF5 1GX	62	False	Permission be granted	25/07/2019
19/01234/MNR	30/04/2019	Egginton	CONVERSION OF PROPERTY INTO C4 HOUSE IN MULTIPLE OCCUPATION.	4 ATLAS ROAD, CANTON, CARDIFF, CF5 1PL	83	False	Permission be granted	22/07/2019
19/01537/MNR	23/05/2019	Glosshome Ltd	CHANGE OF USE FROM D2 (FORMER PLAY GROUP) TO B1 (FURNITURE RESTORATION AND INTERIOR DESIGN STUDIO)	58A CLIVE ROAD, CANTON, CARDIFF, CF5 1HG	57	False	Permission be granted	19/07/2019

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<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
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19/01577/DCH	29/05/2019	Prince Ltd	ADDITIONAL HIGH LEVEL WINDOW TO ANNEXE BUILDING (ABOVE 1.7M FROM FLOOR LEVEL) - PREVIOUSLY APPROVED UNDER 18/02811/DCH	131 RHYMNEY STREET, CATHAYS, CARDIFF, CF24 4DL	41	True	Permission be granted	09/07/2019
19/01530/DCH	22/05/2019	Quin & Co Ltd	REAR DORMER ROOF EXTENSION AND LOFT CONVERSION, REMOVAL OF CHIMNEY STACKS, INSERTION OF ROOFLIGHT TO FRONT PITCHED ROOF AND INTERNAL ALTERATIONS TO INCREASE NUMBER OF BEDROOMS FROM FOUR (C4) TO SIX (C4)	140 CATHAYS TERRACE, CATHAYS, CARDIFF, CF24 4HZ	56	True	Permission be granted	17/07/2019
<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/01718/MJR	13/06/2019	c/o agent	DISCHARGE OF CONDITON 14 (DRAINAGE SCHEME) OF 17/01906/MJR	CUSTOM HOUSE, CUSTOM HOUSE STREET, CITY CENTRE, CARDIFF, CF10 1AP	41	True	Full Discharge of Condition	24/07/2019
19/01290/MJR	26/04/2019	Ascent Development Limited	DISCHARGE OF CONDITION 22 (SERVICE LAYBY WORKS) OF 17/01906/MJR	FORMER CUSTOM HOUSE, CUSTOM HOUSE STREET AND FORMER YORK HOTEL, CITY CENTRE, CARDIFF, CF10 1AP	88	False	Full Discharge of Condition	23/07/2019
19/01665/MJR	07/06/2019	Naissance Capital	CHANGE OF USE FROM RETAIL TO MIXED USE (USE CLASSES A1, A3, B1, C1 , D1, D2)	HOWELLS OF CARDIFF, ST MARY STREET, CITY CENTRE, CARDIFF, CF10 1TT	39	True	Permission be granted	16/07/2019
19/01914/MJR	09/07/2019	Cardiff University	DISCHARGE OF CONDITION 5 (SCHEME OF ARCHITECTURAL DETAILING) OF 16/01625/MJR	PHASE 3, MAINDY PARK CAMPUS, MAINDY ROAD, CATHAYS, CARDIFF, CF24 4HQ	15	True	Full Discharge of Condition	24/07/2019
19/01932/MJR	10/07/2019	Hafod Housing Association	DISCHARGE OF CONDITION 4 (IMPROVEMENT/RESURFACING OF THE FOOTWAY) OF 18/02856/MJR	THE GOWER HOTEL, 29 GWENNYTH STREET, CATHAYS, CARDIFF, CF24 4PH	20	True	Full Discharge of Condition	30/07/2019

19/01789/MJR	26/06/2019	Hafod Housing Association	DISCHARGE OF CONDITIONS: 3 (REFUSE STORAGE) 5 (SCHEME OF CONSTRUCTION MANAGEMENT) 6 (PHOTOGRAPHIC SURVEY OF THE EXISTING BUILDINGS ON THE SITE) 8 (LANDSCAPING SCHEME) 10 (SCHEME OF ARCHITECTURAL DETAILING OF THE BUILDINGS) 11 (SAMPLES OF EXTERNAL FINISHING MATERIALS) 12 (CONTAMINATION ASSESSMENT) 13 (REMEDIATION SCHEME) 19 (DUST ASSESSMENT) 20 (PROTECTION OF SIDE ELEVATION OF 26 GWENNYTH STREET) 21 (MEANS OF ENCLOSURE) AND 23 (UNDERCOVER CYCLE STORAGE) OF 18/02856/MJR	THE GOWER HOTEL, 29 GWENNYTH STREET, CATHAYS, CARDIFF, CF24 4PH	34	True	Partial Discharge of Condition (s)	30/07/2019
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19/01999/MJR	23/07/2019	Hafod Housing Association	VARIATION OF CONDITION 7 TO READ: "NO DEVELOPMENT (EXCLUDING DEMOLITION) SHALL COMMENCE UNTIL A DRAINAGE SCHEME FOR THE SITE HAS BEEN SUBMITTED TO AND APPROVED IN WRITING BY THE LOCAL PLANNING AUTHORITY. THE SCHEME SHALL DEMONSTRATE HOW THE SITE WILL BE EFFECTIVELY DRAINED; THE MEANS OF DISPOSAL OF SURFACE WATER AND INDICATE HOW FOUL FLOWS WILL COMMUNICATE TO THE PUBLIC SEWERAGE SYSTEM. THEREAFTER, THE SCHEME SHALL BE IMPLEMENTED IN ACCORDANCE WITH THE APPROVED DETAILS PRIOR TO THE OCCUPATION OF THE DEVELOPMENT AND NO FURTHER SURFACE WATER OR LAND DRAINAGE SHALL BE ALLOWED TO CONNECT DIRECTLY OR INDIRECTLY WITH THE PUBLIC SEWERAGE SYSTEM. REASON: TO PREVENT HYDRAULIC OVERLOADING OF THE PUBLIC SEWERAGE SYSTEM, TO PROTECT THE HEALTH AND SAFETY OF EXISTING RESIDENTS AND ENSURE NO POLLUTION OF OR DETRIMENT TO THE ENVIRONMENT." - PREVIOUSLY APPROVED UNDER 18/02856/MJR	THE GOWER HOTEL, 29 GWENNYTH STREET, CATHAYS, CARDIFF, CF24 4PH	2	True	Permission be granted	25/07/2019
19/01847/MJR	26/06/2019	Crown Student Living	ADDITION OF PERIMETER FENCE - PREVIOUSLY APPROVED UNDER 14/03004/MJR	CROWN PLACE, 1-6 ST ANDREW'S PLACE, CATHAYS PARK, CARDIFF, CF10 3BE	7	True	Permission be granted	03/07/2019
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19/00557/MNR	12/04/2019	Mr Morris	GROUND & FIRST FLOOR EXTENSION REAR DORMER AND CONVERSION FROM C4 HOUSE IN MULTIPLE OCCUPATION TO SUI GENERIS HOUSE IN MULTIPLE OCCUPATION	38 FLORA STREET, CATHAYS, CARDIFF, CF24 4EQ	82	False	Permission be granted	03/07/2019
19/01197/MNR	15/04/2019	Troia (UK) Restaurants Ltd	CHANGE OF USE FROM CLASS A1 (SHOP) TO CLASS A3 (RESTAURANT) USE WITH ASSOCIATED EXTERNAL ALTERATIONS, COMPRISING INSTALLATION OF AN ACOUSTIC CASING TO THE EXISTING ROOF LANTERN; PROVISION OF EXTERNAL SEATING AREA; AND INSTALLATION OF PLANT EQUIPMENT	18 THE HAYES, CITY CENTRE, CARDIFF, CF10 1AH	81	False	Permission be granted	05/07/2019
19/01517/MNR	21/05/2019	Usman	CHANGE OF USE OF GROUND FLOOR FROM B1 TO A1	142 CRWYS ROAD, CATHAYS, CARDIFF, CF24 4NR	45	True	Permission be granted	05/07/2019
19/01379/MNR	07/05/2019	Bills Restaurants Ltd	USE OF HIGHWAY LAND AS AN OUTDOOR SEATING AREA (OUTSIDE BILLS RESTAURANT) WITH ASSOCIATED TABLES, CHAIRS, PLANTERS, TIMBER SCREENS, UMBRELLAS AND AWNING	OUTSIDE 27 TO 39 , WYNDHAM ARCADE, CITY CENTRE, CARDIFF, CF10 1FH	56	True	Permission be granted	02/07/2019
A/19/00049/MNR	15/04/2019	Troia (UK) Restaurants Ltd	NEW SIGNS	18 THE HAYES, CITY CENTRE, CARDIFF, CF10 1AH	78	False	Split decision (part app./part ref.)	02/07/2019
19/01578/MNR	29/05/2019	Piazza Estates Ltd	VARIATION OF CONDITION 3 OF 01/01756/W TO EXTEND OPENING HOURS SO THE PREMISES IS ONLY OPEN TO CUSTOMERS BETWEEN 0800 HOURS AND 2200 HOURS MONDAY TO SUNDAY	1 CATHAYS TERRACE, CATHAYS, CARDIFF, CF24 4HS	57	False	Permission be granted	25/07/2019
19/01503/MNR	23/05/2019	Ogbonna	GROUND & FIRST FLOOR REAR EXTENSIONS, REAR & SIDE DORMERS AND CONVERSION TO 4 FLATS	18 COLUM ROAD, CATHAYS PARK, CARDIFF, CF10 3EG	62	False	Permission be granted	24/07/2019
19/00378/MNR	21/02/2019	Sakshi Adkar	DISCHARGE OF CONDITION 8 (FUME EXTRACTION) OF PLANNING PERMISSION 18/01715/MNR	12 HIGH STREET, CITY CENTRE, CARDIFF, CF10 1AX	145	False	Full Discharge of Condition	16/07/2019

19/01198/MNR	12/04/2019	Troia (UK) Restaurants Ltd	INTERNAL AND EXTERNAL ALTERATIONS, COMPRISING INTERNAL RECONFIGURATION TO LISTED BUILDING; INSTALLATION OF AN ACOUSTIC CASING TO THE EXISTING ROOF LANTERN; PROVISION OF EXTERNAL SEATING AREA; AND INSTALLATION OF PLANT EQUIPMENT	18 THE HAYES, CITY CENTRE, CARDIFF, CF10 1AH	81	False	Planning Permission be refused	02/07/2019
A/19/00012/MNR	31/01/2019	Legal & General Investment Management	TEMPORARY ADVERT TO REAR OF BUILDING TO ADVERTISE OFFICE SPACE TO LET	HODGE HOUSE, GUILDHALL PLACE, CITY CENTRE, CARDIFF, CF10 1EB	160	False	Permission be granted	10/07/2019
A/19/00082/MNR	02/07/2019	FatFace	NEW NON-ILLUMINATED PROJECTING SIGN	39 THE HAYES, CITY CENTRE, CARDIFF, CF10 1GA	28	True	Permission be granted	30/07/2019
19/01663/MNR	07/06/2019	Ferando	OUTSIDE SEATING AREA WITH TABLES, BENCHES AND CANOPIES	10 MILL LANE, CITY CENTRE, CARDIFF, CF10 1FL	40	True	Permission be granted	17/07/2019
19/01874/MNR	08/07/2019	FSBP LIMITED	ESTABLISH USE AS A C4 HOUSE IN MULTIPLE OCCUPATION	163 MALEFANT STREET, CATHAYS, CARDIFF, CF24 4QG	9	True	Permission be granted	17/07/2019
19/01620/MNR	04/06/2019	Nutton	REMOVE THE CURRENT ANGLED SHOP FRONT AND SQUARE THIS OFF TO THE DEMISE LINE FRONT AND SIDE	64-66 QUEEN STREET, CITY CENTRE, CARDIFF, CF10 2GQ	35	True	Permission be granted	09/07/2019
A/19/00068/MNR	04/06/2019	Nutton	RENEW THE CURRENT SHOP FRONT SIGNAGE	64-66 QUEEN STREET, CITY CENTRE, CARDIFF, CF10 2GQ	35	True	Permission be granted	09/07/2019

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19/01595/DCH	31/05/2019	Terry	CONSTRUCTION OF A SINGLE STOREY CONTEMPORARY GLAZED ORANGERY EXTENSION TO THE REAR	26 QUEEN CHARLOTTE DRIVE, CREIGIAU, CARDIFF, CF15 9NY	55	True	Permission be granted	25/07/2019
19/01708/DCH	20/06/2019	Pugh	SINGLE STOREY REAR EXTENSION	5 PARC-Y-COED, CREIGIAU, CARDIFF, CF15 9LW	41	True	Permission be granted	31/07/2019
19/01603/DCH	04/06/2019	Morgan	DEMOLITION OF SINGLE FLAT ROOF GARAGE AND BUILDING OF NEW SINGLE STOREY EXTENSION TO SIDE OF PROPERTY WITH SMALL WRAP AROUND TO REAR	27 PARC-Y-BRYN, CREIGIAU, CARDIFF, CF15 9SE	37	True	Permission be granted	11/07/2019
19/01913/DCH	08/07/2019	Davison-Sebry	MINOR AMENDMENTS TO ELEVATION TREATMENT - PREVIOUSLY APPROVED UNDER 17/00322/DCH	MICHAELSTON COTTAGE, PERSONDY LANE, ST FAGANS, CARDIFF, CF5 6DW	17	True	Permission be granted	25/07/2019
19/01844/DCH	26/06/2019	Pearce	AMEND EXTENSION PLAN TO TAKE UP FULL HOUSE WIDTH AND FOLLOW ROOF RIDGE LINE, MINOR AMENDMENT TO WINDOW DETAIL. GLAZED OPENINGS TO CAR PORT IN LIEU OF LOUVRE DETAIL - PREVIOUSLY APPROVED UNDER 18/01923/DCH	THE PADDOCKS, HOLDINGS LANE, CAPEL LLANILLTERN, CARDIFF, CF5 6JA	22	True	Permission be granted	18/07/2019
19/01422/DCH	30/05/2019	Grundy	CONSTRUCTION OF A SINGLE STOREY CONTEMPORARY GLAZED ORANGERY EXTENSION TO THE REAR	10 WINDSOR CLIVE DRIVE, ST FAGANS, CARDIFF, CF5 6HQ	36	True	Permission be granted	05/07/2019
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18/00514/MJR	07/03/2018	Persimmon Homes East Wales	DISCHARGE OF CONDITION 33 (TREES) OF 14/00852/DCO	LAND TO THE NORTH OF M4 JUNCTION 33, CREIGIAU, CARDIFF	505	False	Partial Discharge of Condition (s)	25/07/2019

18/01968/MJR	28/08/2018	Persimmon Homes East Wales	DISCHARGE OF CONDITION 48 (FOUL DRAINAGE SCHEME) OF 14/00852/DCO	LAND TO THE NORTH OF M4 JUNCTION 33, MOTORWAY JUNCTION 33, CREIGIAU	331	False	Full Discharge of Condition	25/07/2019
18/01034/MJR	04/05/2018	Persimmon Homes East Wales	DISCHARGE OF CONDITION 20 (RESIDENTIAL TRAVEL PLAN) OF 14/00852/DCO	LAND TO THE NORTH OF M4 JUNCTION 33, CREIGIAU, CARDIFF	447	False	Full Discharge of Condition	25/07/2019

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19/00238/MNR	06/02/2019	Ward	DWELLING & EXTERNAL WORKS AS CONSTRUCTED	FIELD VIEW, HOLDINGS LANE, CAPEL LLANILLTERN, CARDIFF, CF5 6JA	169	False	Permission be granted	25/07/2019
19/01819/MNR	27/06/2019	Ely Court Care Ltd	DISCHARGE OF CONDITON 13 (ARBORICULTURAL METHOD STATEMENT (AMS)) OF 17/02720/MNR	THE COURT NURSING HOME, CWRT Y CADNO, ST FAGANS, CARDIFF, CF5 6XD	27	True	Full Discharge of Condition	24/07/2019

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19/00266/DCH	12/02/2019	Haworth and Conisby	ROOF EXTENSION TO 44 AND 46 LLANDENNIS ROAD TO INCLUDE SINGLE STOREY KITCHEN/DINING EXTENSION TO 44 LLANDENNIS ROAD ONLY	44 & 46 LLANDENNIS ROAD, CYNCOED, CARDIFF, CF23 6EG	163	False	Permission be granted	25/07/2019
19/01543/DCH	29/05/2019	Grace	GARAGE CONVERSION AND EXTENSION TO FRONT ELEVATION OF GARAGE	3 DUFFRYN AVENUE, LAKESIDE, CARDIFF, CF23 6LE	56	True	Permission be granted	24/07/2019

19/00422/DCH	27/02/2019	Jamil	PROPOSED SINGLE STOREY REAR AND SIDE EXTENSION(S), DORMER EXTENSION(S) TO FRONT AND REAR ROOF SLOPE, RECLADDING ON FRONTAL ELEVATION; ALL WITH ASSOCIATED EXTERNAL WORKS	56 WOOLASTON AVENUE, LAKESIDE, CARDIFF, CF23 6HA	124	False	Permission be granted	01/07/2019
19/01745/DCH	14/06/2019	Williams	DEMOLITION OF REAR SMALL LEAN-TO AND NEW REAR EXTENSION, INCORPORATING EXISTING GARAGE	131 LAKE ROAD WEST, ROATH PARK, CARDIFF, CF23 5PJ	46	True	Permission be granted	30/07/2019
19/01541/DCH	23/05/2019	Dr Sheikh Rahman	EXTENSION TO SIDE AND REAR	2 LLANDENNIS ROAD, CYNCOED, CARDIFF, CF23 6EF	50	True	Planning Permission be refused	12/07/2019
18/02994/DCH	21/01/2019	Muhalab T H Jajeldin	2 STOREY REAR EXTENSION AND CONVERSION OF HOUSE TO 2 SEPARATE DWELLINGS	40 HURON CRESCENT, LAKESIDE, CARDIFF, CF23 6DT	177	False	Planning Permission be refused	17/07/2019
19/01558/DCH	30/05/2019	Maolod	SINGLE STOREY REAR EXTENSION	43 MOUNTBATTEN CLOSE, ROATH PARK, CARDIFF, CF23 5QG	43	True	Permission be granted	12/07/2019
19/01506/DCH	17/05/2019	Malik	GROUND FLOOR REAR EXTENSION	31 LAKE ROAD NORTH, ROATH PARK, CARDIFF, CF23 5QN	54	True	Permission be granted	10/07/2019
19/01451/DCH	14/05/2019	Fox	REAR SINGLE STOREY EXTENSION AND DEMOLISH GARAGE AT THE REAR GARDEN	210 CYNCOED ROAD, CYNCOED, CARDIFF, CF23 6RS	56	True	Permission be granted	09/07/2019
19/01825/DCH	24/06/2019	Mr Michael Pesticchio	REDUCE THE SIZE OF THE EXTENSION - PREVIOUSLY APPROVED UNDER 14/02442/DCH	43 GWERN RHUDDI ROAD, CYNCOED, CARDIFF, CF23 6PR	25	True	Permission be granted	19/07/2019
19/01805/DCH	24/06/2019	Edwards	SIDE DORMER, EXTERNAL CLADDING, RENDERING AND ALTERATIONS TO CONVERT THE EXISTING INTEGRAL GARAGE INTO ADDITIONAL LIVING ACCOMMODATION	38 CEFN COED AVENUE, LAKESIDE, CARDIFF, CF23 6HG	25	True	Permission be granted	19/07/2019
19/01560/DCH	28/05/2019	halbert	SINGLE STOREY EXTENSION	13 RANNOCH DRIVE, LAKESIDE, CARDIFF, CF23 6LP	34	True	Permission be granted	01/07/2019

19/01876/DCH	02/07/2019	Callaghan	DISCHARGE OF CONDITIONS 4 AND 5 (DETAILS OF FUTURE GARDEN/PATIO LEVELS DETAILS OF ASSOCIATED RETAINING WALLS DETAILS OF SOUTHERN SITE BOUNDARY ENCLOSURE) OF 17/02991/DCH	142 LAKE ROAD EAST, LAKESIDE, CARDIFF, CF23 5NQ	3	True	Full Discharge of Condition	05/07/2019
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19/01568/DCH	28/05/2019	Jones	SINGLE STORY EXTENSION TO REAR OF PROPERTY	40 MACDONALD ROAD, ELY, CARDIFF, CF5 4NX	43	True	Permission be granted	10/07/2019
19/01780/DCH	18/06/2019	Scott	REAR SINGLE STOREY EXTENSION & SIDE PORCH	7 NANT Y DOWLAIS, ELY, CARDIFF, CF5 4UA	42	True	Permission be granted	30/07/2019
19/01667/DCH	10/06/2019	Stickells	LOFT CONVERSION WITH HIP TO GABLE END EXTENSION & REAR DORMER WITH EXTENDED VEHICLE CROSSOVER	90 WILSON ROAD, ELY, CARDIFF, CF5 4JP	35	True	Permission be granted	15/07/2019
19/01676/DCH	07/06/2019	hedges	REAR SINGLE STOREY EXTENSION	4 CHARTERIS CRESCENT, ELY, CARDIFF, CF5 4EX	31	True	Permission be granted	08/07/2019
19/01785/DCH	02/07/2019	North	SINGLE STOREY EXTENSION TO REPLACE CONSERVATORY ON REAR ELEVATION	10 MACDONALD ROAD, ELY, CARDIFF, CF5 4NY	14	True	Permission be granted	16/07/2019
19/01797/DCH	01/07/2019	Derbyshire	BUILDING A GARAGE EXTENSION ONTO THE SIDE OF THE HOUSE	91 VACHELL ROAD, ELY, CARDIFF, CF5 4HG	24	True	Permission be granted	25/07/2019

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19/01846/MJR	27/06/2019	Wates Residential	AMENDMENTS AS FOLLOWS: 1. ADDITIONAL STREET LIGHTING COLUMN TO PLOTS 17-20. 2. ADDITION OF WALL LIGHTS TO APARTMENT BUILDINGS. 3. 1200MM HIGH FENCE TO THE TOP OF THE CRIB WALL IN LIEU OF POST AND RAIL FENCING. 4. POSITION THE SPRINKLER PUMP. 5. SLABS ADJACENT TO DRIVEWAYS TO BE CHANGED TO TARMAAC. 6. SMALL HEDGES ADDED TO PLOTS 5-8. 7. DEMARCATION OF PLOTS 2-3 AND 6-7 WITH FLUSH KERB EDGING. 8. STONE CILLS OMITTED TO FULL HEIGHT WINDOWS AT GROUND FLOOR SIDE WINDOWS OF WALK UP APARTMENTS AND THE REAR OF ALL HOUSES. PREVIOUSLY APPROVED UNDER 17/00968/MJR	LAND TO THE SOUTH OF SNOWDEN ROAD AND EAST OF WILSON ROAD, ELY, CARDIFF	27	True	Permission be granted	24/07/2019
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19/01433/DCH	17/05/2019	Diagonal Properties Ltd	DEMOLISH REAR DETACHED GARAGE AND SINGLE STOREY LEAN-TO EXTENSION AND BUILD A NEW SINGLE STOREY LEAN-TO EXTENSION	126 BWLCH ROAD, FAIRWATER, CARDIFF, CF5 3EF	49	True	Permission be granted	05/07/2019
19/01501/DCH	17/05/2019	Kendell	GROUND FLOOR SIDE EXTENSION TO CREATE GRANNY ANNEX	BEECHFIELD HOUSE, 122 ST FAGANS ROAD, FAIRWATER, CARDIFF, CF5 3EU	61	False	Planning Permission be refused	17/07/2019
19/01706/DCH	11/06/2019	HOLE	PROPOSED REAR DORMER EXTENSION	70 KEYSTON ROAD, FAIRWATER, CARDIFF, CF5 3NG	38	True	Permission be granted	19/07/2019

19/01544/DCH	31/05/2019	Mr Paul Brittain	PROPOSED SINGLE STOREY PITCH ROOF REAR KITCHEN EXTENSION	2 FAIRWOOD ROAD, FAIRWATER, CARDIFF, CF5 3QJ	39	True	Permission be granted	09/07/2019
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19/00529/MJR	11/03/2019	Redrow Homes	DISCHARGE OF CONDITIONS 17 (TREES) AND 19 (CEMP) OF 14/02157/MJR IN RESPECT OF AREA COVERED BY RESERVED MATTERS APPLICATION 19/00435/MJR (PART 1 OF PHASE 2B, SOUTH OF LLANTRISANT RD) Please note this consultation relates to an amended CEMP in discharge of condition 19 only.	LAND NORTH AND SOUTH OF LLANTRISANT ROAD, NORTH WEST CARDIFF	134	False	Partial Discharge of Condition (s)	23/07/2019
<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/01423/MNR	10/05/2019	Mr David Probert	CERTIFICATE OF LAWFULNESS APPLICATION FOR THE EXISTING USE AS A SINGLE DWELLING HOUSE	THE BUNGALOW, 62 ASHCROFT CRESCENT, PENTREBANE, CARDIFF, CF5 3RP	56	True	Permission be granted	05/07/2019
19/01738/MNR	13/06/2019	City of Cardiff Council - Parks Services.	DEMOLITION OF THE WATERHALL PARK REINFORCED CONCRETE BRIDGE DECK SPANNING THE BROOK BEHIND FAIRWATER LEISURE CENTRE, LINKING ASHCROFT CRESCENT WITH WATERHALL PARK	WATERHALL PARK BRIDGE, ASHCROFT CRESCENT, PENTREBANE	42	True	Prior Approval be granted	25/07/2019
19/01654/MNR	14/06/2019	Patel	CHANGE OF USE FROM A1 (CONVENIENCE STORE) TO C3 (RESIDENTIAL) WITH CONSTRUCTION OF NEW PORCH TO FRONT DOOR AND PATIO DOOR AND WINDOWS TO SIDE ELEVATION	29 LLANGATTOCK ROAD, FAIRWATER, CARDIFF, CF5 3BQ	32	True	Permission be granted	16/07/2019

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19/01574/DCH	31/05/2019	JAMES	PROPOSED SINGLE STOREY REAR EXTENSION & LOFT CONVERSION WITH DORMER	23 LAYTONIA AVENUE, GABALFA, CARDIFF, CF14 3BQ	55	True	Permission be granted	25/07/2019
19/01354/DCH	02/05/2019	Joseph	PROPOSED SINGLE STOREY REAR EXTENSION TO INCLUDE GROUND FLOOR KITCHEN & DINING AREA.	11 PORTHKERRY PLACE, MYNACHDY, CARDIFF, CF14 3EE	68	False	Permission be granted	09/07/2019
19/01848/DCH	26/06/2019	CARDIFF COUNTY COUNCIL	CONSTRUCTION OF A SINGLE STOREY EXTENSION TO THE REAR OF THE PROPERTY TO PROVIDE A BEDROOM AND SHOWER ROOM, INCLUDING ALTERATIONS TO REAR GARDEN AND EXTERNAL AREAS	18 CASTLEFIELD PLACE, MYNACHDY, CARDIFF, CF14 3DU	26	True	Permission be granted	22/07/2019

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19/01264/MNR	03/05/2019	Hillier	CHANGE OF USE FROM STANDARD RESIDENCE (C3 USE CLASS) TO HOUSE IN MULTIPLE OCCUPATION (C4 USE CLASS).	55 HEATHFIELD ROAD, GABALFA, CARDIFF, CF14 3JX	67	False	Permission be granted	09/07/2019
19/01554/MNR	24/05/2019	Greggs plc	TWO AIR CONDITIONING CONDENSER UNITS AND TWO EXTRACT GRILLES	UNIT 1, EXCELSIOR INDUSTRIAL ESTATE, BATCHELOR ROAD, GABALFA, CARDIFF, CF14 3AT	48	True	Permission be granted	11/07/2019

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<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/01440/DCH	13/05/2019	Sourinphoumy	TWO STOREY REAR EXTENSION AND SINGLE STOREY SIDE EXTENSION (REVISION TO APPROVED APPLICATION REF:11/01994/DCH)	17 AVONDALE GARDENS, GRANGETOWN, CARDIFF, CF11 7DY	67	False	Permission be granted	19/07/2019
19/01754/DCH	17/06/2019	Chance	CHANGE 2 STOREY SIDE EXTENSION TO SINGLE STOREY SIDE EXTENSION - PREVIOUSLY APPROVED UNDER 18/00291/DCH	43 POWDERHAM DRIVE, GRANGETOWN, CARDIFF, CF11 8ND	23	True	Permission be granted	10/07/2019
19/01587/DCH	31/05/2019	Sikandar	ERECTION OF CONSERVATORY AT THE REAR OF PROPERTY	58 PENARTH ROAD, GRANGETOWN, CARDIFF, CF11 6NG	39	True	Permission be granted	09/07/2019
19/01680/DCH	07/06/2019	Collins	LOFT CONVERSION TO DELIVER EXTRA EN-SUITE BEDROOM WITH VELUX WINDOWS TO FRONT AND DORMER EXTENSION TO REAR	3 TAFF TERRACE, GRANGETOWN, CARDIFF, CF11 7AL	39	True	Permission be granted	16/07/2019
19/01757/DCH	19/06/2019	Stephen Banbury	SINGLE STOREY SIDE EXTENSION & REAR DORMER ROOF EXTENSION	63 PENTRE STREET, GRANGETOWN, CARDIFF, CF11 6QX	40	True	Permission be granted	29/07/2019

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19/01309/MNR	26/04/2019	Motor Fuel Group	PROPOSED 2 X JET WASH BAYS & RELOCATION OF CLICK & COLLECT & AIR / WATER & VACUUM TOWERS	SERVICE STATION, 235 CORPORATION ROAD, GRANGETOWN, CARDIFF, CF11 7AS	88	False	Permission be granted	23/07/2019
19/01297/MNR	03/05/2019	Mr Jaisal Kerai	PROPOSED CHANGE OF USE FROM A COACH HOUSE USED FOR STORAGE TO RESIDENTIAL	THE COACH HOUSE, UNIVERSAL STREET, GRANGETOWN, CARDIFF, CF11 6QH	84	False	Permission be granted	26/07/2019

19/01582/MNR	29/05/2019	Bujalska	CHANGE OF USE TO HOUSE IN MULTIPLE OCCUPATION	40 TAFF EMBANKMENT, GRANGETOWN, CARDIFF, CF11 7BE	56	True	Permission be granted	24/07/2019
19/01052/MNR	10/04/2019	Blakeman	CHANGE THE USE OF THE PROPERTY FROM A C3 DWELLING TO C4 (HOUSE IN MULTIPLE OCCUPATION)	38 REDLAVER STREET, GRANGETOWN, CARDIFF, CF11 7LZ	84	False	Permission be granted	03/07/2019
18/02954/MNR	14/12/2018	Cardiff Council	NEW PERMANENT DE-MOUNTABLE NURSERY UNIT	ST PAULS PRIMARY SCHOOL, OAKLEY PLACE, GRANGETOWN, CARDIFF, CF11 7EU	202	False	Permission be granted	04/07/2019
19/00550/MNR	08/03/2019	Bari Holdings Ltd	CONSTRUCTION OF TWO LOFT APARTMENTS WITHIN ROOF VOID OF EXISTING BUILDING INCLUDING: - INSERTION WITHIN EXISTING ROOF PLANES OF DORMER FEATURES AND ROOFLIGHTS TO NORTH AND SOUTH ROOFPLANES AND NEW WINDOW OPENING TO REAR ELEVATION	33 CLARE ROAD, GRANGETOWN, CARDIFF, CF11 6QP	119	False	Permission be granted	05/07/2019
19/01167/MNR	18/04/2019	BE Foods Ltd	EXTENSION AND EXTERNAL ALTERATIONS TO THE EXISTING INDUSTRIAL / COMMERCIAL BUILDING	7 LYON CLOSE, LECKWITH, CARDIFF, CF11 8TZ	75	False	Permission be granted	02/07/2019
19/01468/MNR	15/05/2019	The Wallich	INSTALLATION OF A NEW SHOP FRONT AND CHANGE OF USE FROM GARAGE TO OFFICE	WALLICH CLIFFORD COMMUNITY, 3 PENDYRIS STREET, GRANGETOWN, CARDIFF, CF11 6RJ	49	True	Permission be granted	03/07/2019
18/02498/MNR	24/10/2018	Khan	CONVERSION OF FIVE BEDROOM HOUSE INTO 2 TWO BEDROOM SELF CONTAINED FLATS WITH SINGLE STOREY REAR EXTENSION AND LOFT CONVERSION WITH REAR DORMER	3 PAGET STREET, GRANGETOWN, CARDIFF, CF11 7LB	258	False	Permission be granted	09/07/2019
19/01466/MNR	15/05/2019	Sivapalan	RETAIN PART GROUND FLOOR AS RETAIL USE WITH EXTENSIONS AND ALTERATIONS AND REAR DORMERS TO CREATE ONE ADDITIONAL FLAT TO EACH PROPERTY TALLING THREE ADDITIONAL FLATS	191, 193, 195 PENARTH ROAD, GRANGETOWN, CARDIFF, CF11 6FR	62	False	Permission be granted	16/07/2019

A/19/00070/MNR	05/06/2019	Sytner Group	BRAND SUPPORTING BUILDING SIGNS	SYTNER CARDIFF BMW, PENARTH ROAD, LECKWITH, CARDIFF, CF11 8TT	41	True	Permission be granted	16/07/2019
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<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/01404/DCH	08/05/2019	Williams	PROPOSED SINGLE STOREY EXTENSION AND LOFT CONVERSION	132 PANTBACH ROAD, BIRCHGROVE, CARDIFF, CF14 1UF	63	False	Permission be granted	10/07/2019
19/01474/DCH	17/05/2019	Stewart	GROUND FLOOR REAR & SIDE EXTENSION & HIP TO GABLE ROOF EXTENSION WITH REAR DORMER	15 CRYSTAL WOOD ROAD, HEATH, CARDIFF, CF14 4HU	53	True	Permission be granted	09/07/2019
19/01557/DCH	30/05/2019	CROSSLEY	NEW SIDE AND REAR EXTENSION	23 MAVIS GROVE, RHIWBINA, CARDIFF, CF14 4SA	56	True	Planning Permission be refused	25/07/2019
19/01321/DCH	30/04/2019	STONE	REAR DORMER EXTENSION AND SIDE EXTENSION TO ROOF	143 PANTBACH ROAD, BIRCHGROVE, CARDIFF, CF14 1TY	79	False	Permission be granted	18/07/2019
19/01490/DCH	23/05/2019	Donnelly	PROPOSED REAR AND SIDE DOUBLE STOREY EXTENSION WITH INTERNAL ALTERATIONS	72 HOMELANDS ROAD, BIRCHGROVE, CARDIFF, CF14 1UJ	56	True	Permission be granted	18/07/2019
19/01147/DCH	17/04/2019	Johann davies	CREATE A VEHICLE CROSSOVER ON THE SIDE OF 64 TYN Y PARC ROAD. KEEP THE EXISTING CROSSOVER ON THE SIDE OF NO60	62 TY'N-Y-PARC ROAD, WHITCHURCH, CARDIFF, CF14 6BP	78	False	Permission be granted	04/07/2019
19/01416/DCH	09/05/2019	Stevens	DEMOLITION OF EXISTING REAR SINGLE STOREY LEAN-TO, AND CONSTRUCTION OF NEW ENLARGED SINGLE STOREY REAR AND SIDE EXTENSION WITH ASSOCIATED EXTERNAL WORKS	7 MAES-Y-COED ROAD, HEATH, CARDIFF, CF14 4HA	56	True	Permission be granted	04/07/2019

19/01284/DCH	25/04/2019	phArchitecture	DORMER TO FRONT AND REAR ELEVATION TO FIRST FLOOR AND SINGLE STOREY EXTENSION TO REAR AND SIDE TO ACCOMMODATE A KITCHEN. FRONT DORMER TO REPLACE EXISTING SKYLIGHTS, REAR DORMER TO REPLACE SKYLIGHTS AND SLOPING ROOF. GROUND FLOOR REAR EXTENSION IS TO REPLACE POORLY QUALITY EXISTING CONSERVATORY THIS WOULD INCLUDE THE REMOVAL OF EXISTING OUTSIDE TOILET AND GARAGE. AMENDMENTS TO EXISTING APPROVED PLANNING APPLICATION 18/00827/DCH	205 KING GEORGE V DRIVE EAST, HEATH, CARDIFF, CF14 4ER	85	False	Permission be granted	19/07/2019
19/01525/DCH	30/05/2019	Murphy	PROPOSED SINGLE-STOREY SIDE / REAR EXTENSION (AND ASSOCIATED ALTERATION WORKS)	25 GREENFIELD ROAD, WHITCHURCH, CARDIFF, CF14 1TE	56	True	Permission be granted	25/07/2019
19/01636/DCH	05/06/2019	Short	PROPOSED TWO STOREY SIDE AND SINGLE STOREY REAR EXTENSION	11 CEFN CARNAU ROAD, HEATH, CARDIFF, CF14 4LZ	36	True	Permission be granted	11/07/2019
19/01516/DCH	29/05/2019	Young	PROPOSED SINGLE STOREY SIDE AND REAR EXTENSION	55 KYLE CRESCENT, WHITCHURCH, CARDIFF, CF14 1ST	37	True	Permission be granted	05/07/2019
19/01843/DCH	26/06/2019	Fox	EXTENSION INCREASED FROM 4.3M TO 4.5M AND ROOF SLOPE AMENDED INCLUDING FENESTRATION - PREVIOUSLY APPROVED UNDER 18/00877/DCH	61 HEATHWAY, HEATH, CARDIFF, CF14 4JR	21	True	Permission be granted	17/07/2019
19/01497/DCH	24/05/2019	Tanner	SINGLE STOREY KITCHEN EXTENSION INCLUDING THE INSERTION OF NEW ROOFLIGHTS	1 GROVELAND ROAD, BIRCHGROVE, CARDIFF, CF14 4QX	38	True	Permission be granted	01/07/2019
19/01549/DCH	23/05/2019	Mr Kirkman	GROUND FLOOR REAR EXTENSION AND CONVERSION OF GARAGE	22 ST BENEDICT CRESCENT, HEATH, CARDIFF, CF14 4DQ	39	True	Permission be granted	01/07/2019

19/01821/DCH	24/06/2019	Davies	THE REMOVAL OF THE EXISTING PITCHED ROOF OVER THE KITCHEN AND DINNING AREAS TO BE REPLACED WITH A NEW FLAT ROOF AND LANTERN LIGHTS. THE INSERTION OF BI-FOLD DOORS TO THE REAR ELEVATION	30 LLWYNFEDW GARDENS, BIRCHGROVE, CARDIFF, CF14 4NX	25	True	Permission be granted	19/07/2019
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A/19/00047/MNR	27/03/2019	Khan	PERMISSION SOUGHT TO DISPLAY AN ILLUMINATED SHOP SIGN	103A CAERPHILLY ROAD, BIRCHGROVE, CARDIFF, CF14 4AE	106	False	Permission be granted	11/07/2019

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19/01109/DCH	02/04/2019	Arakas	SINGLE STOREY REAR, TWO STOREY SIDE EXTENSIONS AND LOFT CONVERSION WITH REAR DORMER AND EXTERNAL ALTERATIONS	8 RIDGEWAY, LISVANE, CARDIFF, CF14 0RR	93	False	Permission be granted	04/07/2019
19/01129/DCH	04/04/2019	Mr Kieran J Lonergan	PROPOSED DEMOLITION OF THE EXISTING REAR CONSERVATORY AND THE CONSTRUCTION OF THE REAR GROUND FLOOR EXTENSION TOGETHER WITH INTERNAL AND EXTERNAL WORKS	8 CLOS COED-Y-DAFARN, LISVANE, CARDIFF, CF14 0ER	105	False	Permission be granted	18/07/2019
18/02328/DCH	21/01/2019	Matthews	DISCHARGE OF CONDITION 5 (BOUNDARY WALLS OR FENCES) OF 16/00198/DCH	21 HEOL CEFN ON, LISVANE, CARDIFF, CF14 0TP	175	False	Full Discharge of Condition	15/07/2019

19/01520/DCH	23/05/2019	Nivarany	PROPOSED INCREASE OF MAIN ROOF STRUCTURE, PROPOSED FIRST FLOOR REAR EXTENSION, NEW FRONTAL PITCHED DORMERS WITH SIDE ELEVATION WINDOWS; ALL WITH ASSOCIATED EXTERNAL WORKS	41 MILLWOOD, LISVANE, CARDIFF, CF14 0TL	56	True	Permission be granted	18/07/2019
19/01477/DCH	20/05/2019	Eynon	TWO STOREY SIDE EXTENSION TO PROVIDE GARAGE WITH ADDITIONAL BEDROOM ABOVE. DEMOLITION OF EXISTING GARAGE TO REAR. REPLACE PITCHED ROOF WITH NEW FLAT ROOF OVER REAR SINGLE STOREY EXTENSION	REFLECTIONS, LISVANE ROAD, LISVANE, CARDIFF, CF14 0SF	46	True	Permission be granted	05/07/2019
19/01604/DCH	03/06/2019	Poyner	2 STOREY FRONT/SIDE EXTENSION, ADDITION OF A SINGLE STOREY PORCH AND A SMALL 1 STOREY REAR EXTENSION	15 HOLLY GROVE, LISVANE, CARDIFF, CF14 0UJ	37	True	Permission be granted	10/07/2019
<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
18/02906/MJR	20/12/2018	Redrow Homes South Wales	RESERVED MATTERS APPLICATION FOR OUTLINE APPLICATION 14/02891/MJR, RELATING TO LAYOUT, SCALE, APPEARANCE OF BUILDINGS, MEANS OF ACCESS (WHERE NOT ALREADY PERMITTED BY THE PERMISSION) AND LANDSCAPING FOR PHASE 1B OF THE SITE COMPRISING 26 DWELLINGS	PHASE 1B, CHURCHLANDS LAND NORTH AND EAST OF LISVANE, MAERDY LANE, LISVANE	196	False	Permission be granted	04/07/2019
18/01439/MJR	26/06/2018	Waterstone Homes	DEVELOPMENT OF 13 NO. DWELLINGS INCLUDING DETAILS OF ACCESS, LANDSCAPING AND ASSOCIATED INFRASTRUCTURE	MOOR LYNCH, RUDRY ROAD, LISVANE, CARDIFF, CF14 0SN	387	False	Permission be granted	18/07/2019

19/02048/MJR	22/07/2019	Waterstone Homes	DISCHARGE OF CONDITION 26 (DETAILS OF HARD AND SOFT LANDSCAPING WORKS) OF PLANNING PERMISSION 18/01439/MJR	MOOR LYNCH, RUDRY ROAD, LISVANE, CARDIFF, CF14 0SN	9	True	Full Discharge of Condition	31/07/2019
19/02046/MJR	22/07/2019	Waterstone Homes	DISCHARGE OF CONDITION 25 (ARBORICULTURAL METHOD STATEMENT AND TREE PROTECTION PLAN) OF PLANNING PERMISSION 18/01439/MJR	MOOR LYNCH, RUDRY ROAD, LISVANE, CARDIFF, CF14 0SN	4	True	Full Discharge of Condition	26/07/2019

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19/01171/MNR	10/04/2019	Cole	PROPOSED 3 BEDROOM CHALET BUNGALOW TO AMENITY AREA ADJACENT TO EXISTING PROPERTY AT BROWN HAZEL	BROWN HAZEL, MAERDY LANE, LISVANE, CARDIFF, CF14 0PE	91	False	Permission be granted	10/07/2019
19/01629/MNR	04/06/2019	Cardiff Council	REMOVAL OF EXISTING GLAZED CANOPY AND REPLACEMENT WITH NEW ENCLOSED SECURE MAIN ENTRANCE AREA	CORPUS CHRISTI HIGH SCHOOL, TY-DRAW ROAD, PONTPRENNAU, CARDIFF, CF23 6XL	51	True	Permission be granted	25/07/2019

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19/01461/DCH	31/05/2019	Nobes	PORCH AND DOWNSTAIRS W.C	8 BANKSIDE CLOSE, THORNHILL, CARDIFF, CF14 9EQ	49	True	Permission be granted	19/07/2019
19/01602/DCH	31/05/2019	Ahmadi	REVISION TO PREVIOUSLY APPROVED REAR GROUND FLOOR EXTENSION TO EXTEND REAR/SIDE CORNER	31 ST DOGMAEL'S AVENUE, LLANISHEN, CARDIFF, CF14 5PZ	55	True	Permission be granted	25/07/2019

19/01072/DCH	05/04/2019	Arnold	TWO STOREY SIDE EXTENSION, CONVERSION OF EXISTING GARAGE TO LIVING SPACE WITH NEW ROOF OVER AND LINK TO THE HOUSE AND EXTENDED DRIVEWAY	62 HEOL-Y-CADNO, THORNHILL, CARDIFF, CF14 9DY	94	False	Permission be granted	08/07/2019
19/01545/DCH	23/05/2019	Mr Lee Hawkins	REMOVAL OF REAR CONSERVATORY AND CONSTRUCTION OF A SINGLE STOREY REAR AND SIDE EXTENSION CONTAINING A GARAGE UNTILITY ROOM SHOWER/WC AND FAMILY ROOM	82 FISHGUARD ROAD, LLANISHEN, CARDIFF, CF14 5PS	47	True	Permission be granted	09/07/2019
19/01492/DCH	22/05/2019	O'Brien	EXISTING SMALL CONSERVATORY IN REAR GARDEN IS TO BE DEMOLISHED AND REPLACED WITH A LARGER EXTENSION TO MATCH EXISTING HOUSE	11 LLANON ROAD, LLANISHEN, CARDIFF, CF14 5AF	51	True	Permission be granted	12/07/2019
19/01771/DCH	25/06/2019	phillips	REMOVAL OF CONSERVATORY AND REPLACE WITH LARGER SINGLE STOREY EXTENSION	10 COED GLAS ROAD, LLANISHEN, CARDIFF, CF14 5EN	35	True	Permission be granted	30/07/2019
19/01735/DCH	12/06/2019	Vanoni	CONSTRUCTION OF A REAR DORMER ROOF EXTENSION AND INSERTION OF ROOFLIGHTS TO THE FRONT ELEVATION	17 GERAINT CLOSE, THORNHILL, CARDIFF, CF14 9BE	37	True	Permission be granted	19/07/2019
19/01768/DCH	18/06/2019	Bartley and Hill	FIRST FLOOR SIDE EXTENSION ABOVE EXISTING GARAGE	20 CLOS Y HEBOG, THORNHILL, CARDIFF, CF14 9JL	31	True	Permission be granted	19/07/2019
19/02055/DCH	23/07/2019	Wood	NON MATERIAL AMENDMENT TO 19/01041/DCH. AMENDMENTS TO SHAPE, DOORS AND WINDOWS.	8 THORNWOOD CLOSE, THORNHILL, CARDIFF, CF14 9FE	2	True	Permission be granted	25/07/2019
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19/01360/MJR	03/05/2019	Wates Residential	ALTERATIONS TO PLANS - 1. STREET LIGHTING COLUMNS, BOLLARDS, PEDESTRIAN CROSSING, STREET SIGNS AND PARKING AREA ADDED. 2. PLOTS 14 AND 15: DRIVEWAYS / PATHWAYS HANDED. 3. SPRINKLER PUMP CABINET LOCATED ADJACENT TO VISITOR PARKING SPACES - PREVIOUSLY APPROVED UNDER 16/01558/MJR	WALKER HOUSE CHILDRENS HOME, 158 FIDLAS ROAD, LLANISHEN, CARDIFF, CF14 5LZ	63	False	Permission be granted	05/07/2019
19/01862/MJR	28/06/2019	Malvern Drive Ltd	INCREASE IN RIDGE HEIGHT (APPROXIMATELY 200MM) TO ACCOMMODATE INCREASED SLAB HEIGHT, REQUIRED TO FACILITATE DRAINAGE FALLS - PREVIOUSLY APPROVED UNDER 17/03101/MJR	FORMER TRAVIS PERKINS TRADING CO LTD, 1 MALVERN DRIVE, LLANISHEN, CARDIFF, CF14 5DR	10	True	Permission be granted	08/07/2019
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19/00968/MNR	28/03/2019	Dwr Cymru Welsh Water - Capital Delivery Alliance	REFURBISHMENT OF VALVES AND OTHER OPERATIONAL INFRASTRUCTURE AND ACCESS EQUIPMENT WITHIN AND ASSOCIATED WITH THE VALVE TOWER. DISMANTLING OF EXISTING 'SEMD' BRIDGE AND CONSTRUCTION OF NEW BRIDGE ON SAME FOOTPRINT, INCORPORATING DISMANTLED HISTORICAL ELEMENTS	GROUNDS OF LLANISHEN RESEVOIR, LISVANE ROAD, LISVANE, CARDIFF, CF14 0SA	123	False	Permission be granted	29/07/2019
19/00999/MNR	22/03/2019	Dwr Cymru Welsh Water - Capital Delivery Alliance	WORK TO ALLOW 'ABANDONMENT' OF THE FOLLOWING ASSETS, WHICH ARE NO LONGER REQUIRED FOR OPERATION OF THE RESERVOIR: GAUGING STATION, CIPOLETTI WEIR CHAMBER, VARIOUS PIPE PENETRATIONS THROUGH THE DAM / EMBANKMENT, VARIOUS PIPE RUNS BURIED WITHIN OR NEAR THE DAM / EMBANKMENT	GROUNDS OF LLANISHEN RESEVOIR, LISVANE ROAD, LISVANE, CARDIFF, CF14 0SA	129	False	Permission be granted	29/07/2019

19/01458/MNR	21/05/2019	Parsell	NEW THREE BEDROOM DWELLING BEHIND NO 22 WHITE BARN ROAD	22 WHITE BARN ROAD, LLANISHEN, CARDIFF, CF14 5HB	44	True	Planning Permission be refused	04/07/2019
19/01943/MNR	15/07/2019	Cardiff Council	REMOVAL OF SUN PIPES FROM DESIGN PREVIOUSLY APPROVED UNDER 19/00440/MNR	THORNHILL PRIMARY SCHOOL, HEOL HIR, LLANISHEN, CARDIFF, CF14 9LA	4	True	Permission be granted	19/07/2019

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19/01566/DCH	31/05/2019	Playle	LOFT CONVERSION WITH REAR DORMER	19 RIVERSDALE, LLANDAFF, CARDIFF, CF5 2QL	45	True	Permission be granted	15/07/2019
19/01172/DCH	17/04/2019	Ford	REPLACING A PITCHED ROOF WITH REAR AND SIDE DORMER EXTENSIONS	5 BISHOPS WALK, LLANDAFF, CARDIFF, CF5 2HA	83	False	Permission be granted	09/07/2019
19/01510/DCH	20/05/2019	Furreedan	SINGLE STOREY REAR EXTENSION & STUDIO EXTENSION (SUN LOUNGE) AT REAR OF GARAGE	BROCKENHURST, 50 LLANTRISANT ROAD, LLANDAFF, CARDIFF, CF5 2PX	50	True	Permission be granted	09/07/2019
19/01514/DCH	21/05/2019	thorpe	REBUILD EXISTING LEAN TO EXTENSION AND A CONSTRUCTION OF A REAR DORMER	1 IMPERIAL BUILDINGS ROW, LLANDAFF, CARDIFF, CF5 2EF	65	False	Permission be granted	25/07/2019
19/01737/DCH	13/06/2019	Goddard	SINGLE STOREY REAR EXTENSION	11 ST MICHAEL'S ROAD, LLANDAFF, CARDIFF, CF5 2AL	48	True	Permission be granted	31/07/2019
19/01794/DCH	20/06/2019	Girardi	PROPOSED SINGLE STOREY REAR EXTENSION WITH ASSOCIATED EXTERNAL WORKS	PLAS Y BRYN, 93 FAIRWATER ROAD, LLANDAFF, CARDIFF, CF5 2LG	41	True	Permission be granted	31/07/2019
19/01756/DCH	24/06/2019	Crawford	ORANGERY EXTENSION	33 HEOL SEDDON, DANESCOURT, CARDIFF, CF5 2QX	37	True	Permission be granted	31/07/2019

19/01769/DCH	21/06/2019	Case	REAR AND SIDE SINGLE STOREY EXTENSION	27 INSOLE GROVE WEST, LLANDAFF, CARDIFF, CF5 2HH	40	True	Permission be granted	31/07/2019
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DISCHARGE OF CONDITIONS
•4 (EXTERNAL FINISHING MATERIALS)
•5 (SUMMERHOUSE RENOVATIONS)
•8 (LIME MORTAR MIX)
•9 (REPLACEMENT WINDOWS)
•10 (EXTERNAL LIGHTING AND CCTV)
•11 (VERANDA RESTORATION)
•12 (FIRST FLOOR BALCONY HANDRAIL)
•13 (DOOR CLOSERS)
•14 (FIRE DOORS)
•15 (SERVICES)
•17 (COAL CHUTE REMEDIATION)
•18 (PARTITIONING METHOD STATEMENT)
•20 (CATERING EQUIPMENT)
•21 (WINDOWS AND LOUVRES)
•22 (GROUND FLOOR BAY WINDOW WATERPROOFING)
•23 (STAIRCASE METHOD STATEMENT)
•24 (F04 REPLACEMENT WINDOW)
•25 (PAINTING METHOD STATEMENT)
•26 (ROOF STRUCTURE)
•27 (S06 CORRIDOR STRENGTHENING)
•28 (FLOOR AND STAIRCASE STRUCTURE SUPPORTS)
•29 (ROOFLIGHT)
•30 (LIFT SHAFT PAINT FINISH)
•31 (LIFT SHAFT METHOD STATEMENT)
•32 (OUTBUILDINGS EXTERNAL PAINTWORK COLOURS)
•33 (OUTBUILDINGS WINDOW AND DOOR OPENINGS)
•34 (OUTBUILDINGS BOILER FLUES)
•35 (BIN STORE GATES AND RAILINGS)
•38 (OUTBUILDINGS STONEMWORK METHOD STATEMENT)
•39 (CAFE WALL DETAILS)
•40 (CAFE ROOFLIGHT DETAILS)
•43 (SHUTTER DETAILS)
•46 (VEHICLE SIGNAGE)

INSOLE COURT,
FAIRWATER ROAD,
LLANDAFF, CARDIFF, CF5
2LN

284

False

Full
Discharge
of Condition

30/07/2019

•47 (WW2 NEW DOOR TO COMMAND CENTRE)
 •48 (POTTING SHEDS METHOD STATEMENT)
 OF 12/00208/DCO

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/01640/MNR	05/06/2019	Cardiff Council; Bereavement & Registration Services	VARIATION OF CONDITION 3 OF 19/00085/MNR TO CHANGE IN FLOORING SPECIFICATION FROM PLASTIC RECYCLED LUMBER TO GRP	LLANDAFF ROWING CLUB, THE BOAT HOUSE, BRIDGE ROAD, LLANDAFF, CARDIFF, CF5 2PT	54	True	Permission be granted	29/07/2019
19/01892/MNR	02/07/2019	The Cathedral School Llandaff	DISCHARGE OF CONDITION 3 (SAMPLES OF THE GREEN RUBBER MULCH) OF 18/01527/MNR	THE CATHEDRAL SCHOOL, CARDIFF ROAD, LLANDAFF, CARDIFF, CF5 2YH	16	True	Full Discharge of Condition	18/07/2019

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<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/01482/DCH	21/05/2019	Mrs Joanne Evans	GROUND FLOOR REAR EXTENSION	31 RADYR ROAD, LLANDAFF NORTH, CARDIFF, CF14 2FU	49	True	Permission be granted	09/07/2019
19/01219/DCH	16/04/2019	EDWARDS	SINGLE STOREY AND TWO STOREY REAR EXTENSION	1 CLYRO PLACE, LLANDAFF NORTH, CARDIFF, CF14 2LT	91	False	Permission be granted	16/07/2019
19/01637/DCH	05/06/2019	Matthews	SINGLE STOREY EXTENSION TO THE REAR	38 RADYR ROAD, LLANDAFF NORTH, CARDIFF, CF14 2FU	26	True	Permission be granted	01/07/2019

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/01153/MNR	08/04/2019	Grewal	POSITIONING OF STORAGE CONTAINER. POSITIONING OF PORTO CABIN TO ACT AS CLASSROOM	CARDIFF STEINER EARLY YEARS CENTRE LTD, HAWTHORN ROAD WEST, LLANDAFF NORTH, CARDIFF, CF14 2FL	94	False	Permission be granted	11/07/2019

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<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/01487/DCH	22/05/2019	Smith	REMOVAL OF EXISTING AND ERECTION OF NEW PORCH TO FRONT	56 BURNHAM AVENUE, LLANRUMNEY, CARDIFF, CF3 5LQ	56	True	Planning Permission be refused	17/07/2019
19/01696/DCH	10/06/2019	United Welsh Housing Association	SMALL SCOOTER STORE OUTSIDE NO 11 ST. DYFRIGS COURT	FLAT 11, ST DYFRIGS COURT, COUNTISBURY AVENUE, LLANRUMNEY, CARDIFF, CF3 5RN	42	True	Permission be granted	22/07/2019
19/01677/DCH	07/06/2019	Mr & Mrs Pearce	PROPOSED ROOF DORMERS TO REAR & KITCHEN EXTENSION	78 LYNTON TERRACE, LLANRUMNEY, CARDIFF, CF3 4BS	42	True	Permission be granted	19/07/2019
19/01773/DCH	18/06/2019	Martin	CONVERTING EXISTING ATTACHED GARAGE INTO STUDY, FORMING A NEW STORM PORCH, AND INSERTING DORMERS TO THE SIDE & REAR ROOFS TO CREATE ATTIC INTO A BEDROOM	63 GLASTONBURY TERRACE, LLANRUMNEY, CARDIFF, CF3 4HB	31	True	Permission be granted	19/07/2019

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
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19/01704/MNR	12/06/2019	CMB Engineering	DISCHARGE OF CONDITION 4 (WRITTEN SCHEME OF HISTORIC ENVIRONMENT MITIGATION) OF 18/01685/MNR (PARTIALLY DISCHARGED UNDER 18/02450/MNR)	LLANRUMNEY HALL, BALL ROAD, LLANRUMNEY, CARDIFF, CF3 4JJ	48	True	Full Discharge of Condition	30/07/2019
19/01111/MNR	09/04/2019	Howden	PROPOSED NEW SINGLE DWELLING AND REAR EXTENSION TO EXISTING DWELLING	1 BLACKMOOR PLACE, LLANRUMNEY, CARDIFF, CF3 5TS	86	False	Permission be granted	04/07/2019

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<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/01508/DCH	21/05/2019	Brooks	GROUND FLOOR REAR EXTENSION	316 WYNCLIFFE GARDENS, PENTWYN, CARDIFF, CF23 7FA	45	True	Permission be granted	05/07/2019

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
18/02503/MJR	26/10/2018	Jehu Group	DISCHARGE OF CONDITIONS 20 (CONTAMINATION) AND 21 (REMEDIATION SCHEME) OF 15/03158/MJR	LLANEDEYRN SHOPPING CENTRE, MAELFA, LLANEDEYRN	264	False	Refuse to Discharge	17/07/2019

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/01239/MNR	17/04/2019	Darmain	TWO STOREYSIDE EXTENSION TO FORM A DWELLING	141 GLYN EIDDEW, PENTWYN, CARDIFF, CF23 7BR	97	False	Permission be granted	23/07/2019

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<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/01619/DCH	04/06/2019	Hoyt	EXTENSION AT REAR OF PROPERTY FROM A LEAN-TO TO A FLAT ROOF KITCHEN/DINER FAMILY SPACE. REINSTATE A WALL AT THE REAR PROPERTY BOUNDARY	32 SOUTHMINSTER ROAD, ROATH, CARDIFF, CF23 5AT	50	True	Permission be granted	24/07/2019
19/01062/DCH	28/03/2019	Kowsor	RETAIN EXTENSIONS AND ALTERATIONS AS BUILT	28 BRANDRETH ROAD, PENYLAN, CARDIFF, CF23 5NW	99	False	Permission be granted	05/07/2019
19/01628/DCH	04/06/2019	FITZJOHN	PROPOSED SINGLE STOREY REAR EXTENSION, DEMOLITION OF EXISTING GARAGE & ERECTION OF DETACHED STUDIO	33 AXMINSTER ROAD, ROATH, CARDIFF, CF23 5AR	55	True	Permission be granted	29/07/2019
19/01542/DCH	23/05/2019	Mr Rumen Hannan	RELOCATE DETACHED GARAGE WITH ALTERATIONS AND A NEW REAR BOUNDARY WALL AND NEW ACCESS GATES TO THE GARAGE	WENLOCK, 15 TY-GWYN ROAD, PENYLAN, CARDIFF, CF23 5JF	47	True	Permission be granted	09/07/2019
19/01372/DCH	07/05/2019	Mr Siva Sivapalan	SINGLE STOREY SIDE AND REAR EXTENSIONS AND ALTERATIONS	126 CYNCOED ROAD, PENYLAN, CARDIFF, CF23 6BN	70	False	Permission be granted	16/07/2019
19/01152/DCH	08/04/2019	Jones	RENEWAL OF 14/01031/DCH FOR EXTENSIONS AND ADDITIONAL STOREY TO EXISTING BUNGALOW	22 FFORDD BODLYN, PENYLAN, CARDIFF, CF23 5NG	98	False	Permission be granted	15/07/2019
19/01762/DCH	18/06/2019	Thomas-Duffy	PROPOSED 2 STOREY REAR AND SIDE EXTENSION WITH FIRST FLOOR EXTENSION OVER EXISTING GARAGE, TOGETHER WITH LOFT CONVERSION TO INCLUDE DORMER EXTENSION, AND RAISING THE EXISTING ROOF WITH ASSOCIATED WORKS	61 CYNCOED ROAD, PENYLAN, CARDIFF, CF23 5SB	37	True	Permission be granted	25/07/2019
19/01836/DCH	26/06/2019	Morris & Jones	PROPOSED LOFT CONVERSION WITH REAR DORMERS AND FRONT ROOF LIGHTS	18 MAFEKING ROAD, PENYLAN, CARDIFF, CF23 5DQ	35	True	Permission be granted	31/07/2019

19/01664/DCH	07/06/2019	Howell	CONVERSION OF EXISTING DOUBLE GARAGE TO A GARDEN ROOM, CREATING A PROPOSED LINK FROM THE EXISTING DWELLING TO THE PROPOSED GARDEN ROOM	1A NEWMINSTER ROAD, ROATH, CARDIFF, CF23 5AP	40	True	Permission be granted	17/07/2019
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19/01655/MJR	07/06/2019	W. Wing Yip (London) Ltd	DISCHARGE OF CONDITIONS 9 (CONTAMINATION) AND 24 (CEMP) OF 18/02910/MJR	507 NEWPORT ROAD, PENYLAN, CARDIFF, CF23 9AD	39	True	Full Discharge of Condition	16/07/2019
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19/01810/MJR	24/06/2019	W. Wing Yip (London) Ltd	DISCHARGE OF CONDITION 19 (PILING) OF 18/02910/MJR	507 NEWPORT ROAD, PENYLAN, CARDIFF, CF23 9AD	22	True	Full Discharge of Condition	16/07/2019
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A/19/00076/MNR	14/06/2019	Metro Bank PLC	DISPLAY OF VARIOUS SIGNAGE INSTALLATIONS ASSOCIATED WITH BANK (A2)	METRO BANK UNIT, 507 NEWPORT ROAD, PENYLAN, CARDIFF	31	True	Permission be granted	15/07/2019
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<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
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19/00399/DCH	22/02/2019	ABEDI	VARIATION OF CONDITION 2 OF 15/03060/DCH -TO REPLACE DRAWINGS: P504_L_002_REV A WITH P504_L_002_REV E P504_L_201_REV C WITH P504_L_201_REV F P504_L_210_REV C WITH P504_L_210_REV G	1 WEST GROVE, ROATH, CARDIFF, CF24 3AN	146	False	Permission be granted	18/07/2019
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19/01606/DCH	10/06/2019	Mr&Mrs Kidd	CONVERSION OF STOREROOM TO HOME OFFICE AND STORE WITH ALTERATIONS AND NEW RAISED ROOF	61 PRINCES STREET, ROATH, CARDIFF, CF24 3SL	49	True	Permission be granted	29/07/2019
19/01692/DCH	10/06/2019	Drayton	TO CHANGE AN EXISTING PITCH ROOF TO A FLAT ROOF AND INSTALL A SET OF BI-FOLD DOORS TO THE REAR ELEVATION. HEIGHT OF THE EXISTING AND PROPOSED ROOF STRUCTURE ARE THE SAME	34 PARTRIDGE ROAD, ROATH, CARDIFF, CF24 3QX	36	True	Permission be granted	16/07/2019
<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/00194/MNR	31/01/2019	Mr Rod Pesticcio	CONSTRUCTION OF FIRST FLOOR APARTMENT OVER EXISTING GARAGES	PARTRIDGE HOUSE, PARTRIDGE ROAD, ROATH, CARDIFF, CF24 3QW	154	False	Planning Permission be refused	04/07/2019
19/01495/MNR	20/05/2019	VERMA	PROPOSED REAR DORMER EXTENSION TO CREATE AN ADDITIONAL FLAT, INTERNAL ALTERATIONS AND ASSOCIATED WORKS	22 RICHMOND ROAD, ROATH, CARDIFF, CF24 3AS	59	False	Planning Permission be refused	18/07/2019
19/01169/MNR	24/04/2019	Adesina	GROUND & FIRST FLOOR REAR EXTENSION,REAR DORMER AND CONVERSION TO FOUR FLATS	13 BEDFORD STREET, ROATH, CARDIFF, CF24 3BZ	76	False	Permission be granted	09/07/2019
19/01496/MNR	20/05/2019	VERMA	CHANGE OF USE FROM A1 TO A3	211A CITY ROAD, ROATH, CARDIFF, CF24 3JD	57	False	Permission be granted	16/07/2019
19/01511/MNR	23/05/2019	PROTHERO	PROPOSED DEMOLITION OF PART 1ST FLOOR REAR ANNEX. ALTERATIONS TO CREATE FOUR 1 BED FLATS AND ONE STUDIO APARTMENT WITH ONSITE CYCLE AND REFUSE STORAGE FACILITIES	66 CONNAUGHT ROAD, ROATH, CARDIFF, CF24 3PW	49	True	Permission be granted	11/07/2019

19/01811/MNR	20/06/2019	The Institute of Charity	PARTIAL CHANGE OF USE TO PROVIDE A NEW ASSEMBLY ROOM AT GROUND FLOOR AND A 2-BEDROOM FLAT OVER WITH MINOR ALTERATIONS	12A ST PETER'S STREET, ROATH, CARDIFF, CF24 3BA	35	True	Permission be granted	25/07/2019
19/01845/MNR	27/06/2019	Piazza Estates Ltd	CHANGE OF USE TO PROVIDE MIXED CLASS A1/A3 USE	22 WELLFIELD ROAD, ROATH, CARDIFF, CF24 3PB	28	True	Permission be granted	25/07/2019
19/01705/MNR	11/06/2019	Davies	TO ESTABLISH USE AS A HOUSE IN MULTIPLE OCCUPATION (OPERATING CONTINUOUSLY AS A HMO SINCE 1ST SEPTEMBER 2005)	14 DONALD STREET, ROATH, CARDIFF, CF24 4TQ	28	True	Permission be granted	09/07/2019

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<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/01401/DCH	08/05/2019	Ahmad	DEMOLITION OF EXISTING SINGLE STOREY REAR CONSERVATORY STRUCTURE, AND CONSTRUCTION OF NEW SINGLE STOREY EXTENSION	TONYRIAN, TY'R WINCH ROAD, OLD ST MELLONS, CARDIFF, CF3 5UX	64	False	Permission be granted	11/07/2019
19/01615/DCH	07/06/2019	Kumar	ORANGERY ATTACHED TO THE REAR	ELISEG HOUSE, DRUIDSTONE ROAD, OLD ST MELLONS, CARDIFF, CF3 6XD	47	True	Permission be granted	24/07/2019
19/01678/DCH	07/06/2019	Fergusson	PROPOSED FIRST FLOOR CONSTRUCTION OVER EXISITING GARAGE.	14 CLOS DOL HEULOG, PONTPRENNAU, CARDIFF, CF23 8AT	48	True	Permission be granted	25/07/2019
19/01524/DCH	03/06/2019	Workman	CONVERSION OF GARAGE INTO LIVING SPACE	4 GEORGE CRESCENT, OLD ST MELLONS, CARDIFF, CF3 6AH	32	True	Permission be granted	05/07/2019

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
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19/01131/MJR	08/04/2019	Persimmon Homes	AMENDED PLOT LOCATION ON PLOTS 636-647 - PREVIOUSLY APPROVED UNDER 17/01787/MJR	PHASE 3, LAND EAST OF CHURCH ROAD AND NORTH AND SOUTH OF, BRIDGE ROAD, OLD ST MELLONS	88	False	Permission be granted	05/07/2019
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<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
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19/01499/MNR	21/05/2019	Llandaff Developments (Druidstone Road) Ltd	DISCHARGE OF CONDITION 9 (STRATEGY FOR SOIL STRIPPING, STORAGE, HANDLING, AMELIORATION, AND PLACEMENT FOR LANDSCAPING PURPOSES) OF 17/00717/MNR	HIGH TREES, DRUIDSTONE ROAD, OLD ST MELLONS, CARDIFF, CF3 6XD	55	True	Full Discharge of Condition	15/07/2019
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PYCH

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
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19/01597/DCH	31/05/2019	Mr Anthony Davies	SINGLE STOREY REAR EXTENSION	18 HEOL-Y-PENTRE, PENTYRCH, CARDIFF, CF15 9QE	47	True	Permission be granted	17/07/2019
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19/00248/DCH	12/02/2019	Oliver	IN COMPLIANCE WITH CONDITION 1 OF PREVIOUSLY GRANTED PERMISSION FOR DEVELOPMENT (REF NO 12/01063/DCH DATED 24/08/2012) EXTEND EXISTING PARKING LAYBY TO PROVIDE TURNING AREA AND ADDITIONAL PARKING AREA	CANDOVER, GARTH HILL, GWAELOD-Y-GARTH, CARDIFF, CF15 9HS	154	False	Permission be granted	16/07/2019
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19/01368/DCH	20/05/2019	Morgan	RETENTION OF CONVERSION OF THE INTEGRAL GARAGE TO A USABLE ROOM	10 BANC YR AFON, GWAELOD-Y-GARTH, CARDIFF, CF15 9TU	46	True	Permission be granted	05/07/2019
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19/01586/DCH	03/06/2019	ADSETT	PROPOSED DORMER AT REAR FOR NEW LOFT CONVERSION	62 RIVER GLADE, GWAELOD-Y-GARTH, CARDIFF, CF15 9SP	52	True	Permission be granted	25/07/2019
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<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/01431/MNR	21/05/2019	Spragg	STEEL FRAMED AGRICULTURAL BARN TO SUPPORT THE STORAGE AND SECURITY OF TOOLS AND MACHINERY USED TO MAINTAIN THE FARM AND LIVERY	TY NEWYDD, HEOL GOCH, PENTYRCH, CARDIFF, CF15 9NA	56	True	Planning Permission be refused	16/07/2019

RADY

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/01303/DCH	01/05/2019	Owen	DISCHARGE OF CONDITIONS 5 (PRIVACY SCREEN) AND 6 (BALUSTRADING) OF 13/01065/DCH	7 CRAIG HIR, RADYR, CARDIFF, CF15 8RB	68	False	Full Discharge of Condition	08/07/2019
19/01263/DCH	24/04/2019	Scane	CONSTRUCTION OF A REAR BALCONY	28 WINDSOR ROAD, RADYR, CARDIFF, CF15 8BQ	96	False	Permission be granted	29/07/2019
19/01428/DCH	14/05/2019	Bateman	EXTENSION OF EXISTING DOUBLE GARAGE	2 DROVERS WAY, RADYR, CARDIFF, CF15 8GG	48	True	Permission be granted	01/07/2019
19/01798/DCH	20/06/2019	Morgan	PROPOSED REAR EXTENSION (INCLUDING DEMOLITION OF EXISTING CONSERVATORY) & GARAGE CONVERSION	68 PENTWYN, RADYR, CARDIFF, CF15 8RE	27	True	Permission be granted	17/07/2019
19/01831/DCH	01/07/2019	Lambert	SINGLE STOREY REAR AND PARTIAL SIDE EXTENSION	1 MAES Y GWAIR, MORGANSTOWN, CARDIFF, CF15 8FJ	24	True	Permission be granted	25/07/2019

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19/01631/MJR	06/06/2019	Redrow Homes (South Wales)	AMENDMENT TO GREEN INFRASTRUCTURE PARAMETER PLAN TO ALLOW HEDGEROW H5 TO BE TRANSLOCATED OR REPLACED AS OPPOSED TO RETAINED - PREVIOUSLY APPROVED UNDER 14/02157/MJR	LAND NORTH AND SOUTH OF LLANTRISANT ROAD, NORTH WEST CARDIFF	25	True	Permission be granted	01/07/2019
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<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
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19/01298/MNR	13/05/2019	Mr Brendan McAloon	PROPOSED CHANGE OF USE FROM SWIMMING POOL (INDOOR) TO A TWO BEDROOM GRANNY ANNEX FOR ANCILLARY USE.	1 SHEPLEY COURT, RADYR, CARDIFF, CF15 8DX	56	True	Permission be granted	08/07/2019
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19/01627/MNR	04/06/2019	Blue Square Alliance Ltd	MINOR AMENDMENT TO RE CONFIGURE THE INTERNAL LAYOUT OF THE PROPERTY - PREVIOUSLY APPROVED UNDER 12/02142/DCO	PART OF LAND AT 17 AEL-Y-BRYN, RADYR, CARDIFF	35	True	Planning Permission be refused	09/07/2019
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RHIW

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
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19/01476/DCH	16/05/2019	Mrs Vanessa Harris	SINGLE STOREY SIDE AND REAR EXTENSION AND EXTENDING CROSS OVER DRIVE	16 MAES-Y-DERI, RHIWBINA, CARDIFF, CF14 6JJ	54	True	Permission be granted	09/07/2019
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19/01491/DCH	20/05/2019	Cobb	PROPOSED ROOF SPACE CONVERSION WITH HIP TO GABLE ROOF CONVERSION AND FLAT ROOF DORMER TO REAR	15 PORTHAMAL GARDENS, RHIWBINA, CARDIFF, CF14 6AH	51	True	Permission be granted	10/07/2019
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19/01527/DCH	22/05/2019	stone	GROUND FLOOR EXTENSION, SECOND FLOOR EXTENSION AND LOFT CONVERSION WITH REAR DORMER	28 HEOL-Y-COED, RHIWBINA, CARDIFF, CF14 6HT	50	True	Permission be granted	11/07/2019
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19/01085/DCH	17/05/2019	Killingley	SINGLE STOREY REAR & SIDE EXTENSION	4 HEOL-Y-COED, RHIWBINA, CARDIFF, CF14 6HP	53	True	Permission be granted	09/07/2019
19/01607/DCH	10/06/2019	Morris	2 STOREY SIDE EXTENSION, SINGLE STOREY REAR EXTENSION, REAR DORMER, FRONT ROOF-LIGHTS AND ALTERATIONS.	36 LANSDOWNE AVENUE, RHIWBINA, CARDIFF, CF14 6AT	45	True	Planning Permission be refused	25/07/2019
19/01668/DCH	06/06/2019	Tylke	PROPOSED CONVERSION OF THE EXISTING LOFT INCLUDING NEW FRONT GABLE AND REAR DORMER AND MINOR INTERNAL ALTERATIONS TO THE EXISTING DETACHED SINGLE STOREY DWELLING	142 PEN-Y-DRE, RHIWBINA, CARDIFF, CF14 6ES	55	True	Permission be granted	31/07/2019
19/01547/DCH	23/05/2019	GOUGH	PROPOSED ENLARGEMENT OF EXISTING ROOF SPACE TO CREATE 1NO. BEDROOM, GABLE EXTENSION TO FRONT NOW REMOVED	34 HEOL CAERHYS, RHIWBINA, CARDIFF, CF14 6AP	63	False	Permission be granted	25/07/2019
19/01453/DCH	14/05/2019	Lombardi	TWO STOREY SIDE EXTENSION	9 TROED Y RHIW, RHIWBINA, CARDIFF, CF14 6UR	73	False	Permission be granted	26/07/2019
19/00458/DCH	28/02/2019	Mr&Mrs M Jones	SINGLE STOREY REAR EXTENSION	34 PEN-Y-DRE, RHIWBINA, CARDIFF, CF14 6EQ	147	False	Permission be granted	25/07/2019
19/00580/DCH	12/03/2019	Jones	SINGLE STOREY REAR EXTENSION	34 PEN-Y-DRE, RHIWBINA, CARDIFF, CF14 6EQ	135	False	Permission be granted	25/07/2019
19/01573/DCH	28/05/2019	Weston	SINGLE STOREY EXTENSION TO REAR OF PROPERTY	32 HEOL TY'N Y COED, RHIWBINA, CARDIFF, CF14 6RB	37	True	Permission be granted	04/07/2019
19/01908/DCH	09/07/2019	Hodge	CONSTRUCTION OF NEW BUILD SINGLE STOREY REAR EXTENSION TO INCREASE KITCHEN AND DINING SPACE	TREETOPS, 68 RHIWBINA HILL, RHIWBINA, CARDIFF, CF14 6UF	22	True	Permission be granted	31/07/2019
19/01931/DCH	10/07/2019	Davies	CHANGING SINGLE STOREY REAR EXTENSION ROOF FROM RIDGE ROOF TO FLAT ROOF WITH ROOF LANTERN, ENLARGING REAR FIRST FLOOR WINDOW, REPLACING ANNEXE REAR WINDOW WITH FRENCH DOORS - PREVIOUSLY APPROVED UNDER 19/00546/DCH	11 MAES-Y-DERI, RHIWBINA, CARDIFF, CF14 6JJ	19	True	Permission be granted	29/07/2019

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19/01357/MNR	02/05/2019	Cox & Hitchcox Dental Group	CONVERSION OF HOUSE TO DENTAL SURGERY	15 THORNHILL ROAD, RHIWBINA, CARDIFF, CF14 6PD	84	False	Permission be granted	25/07/2019
18/02606/MNR	07/11/2018	Threipland	LAND AT WYNDHAM LIVERY WAS SUBJECT TO MATERIAL OPERATIONS THAT WERE CARRIED OUT PRIOR TO THE EXPIRATION OF PLANNING PERMISSION 13/00160/DCO ON THE 13TH SEPTEMBER 2018	WYNDHAM LIVERY, WENALLT ROAD, RHIWBINA, CARDIFF	240	False	Permission be granted	05/07/2019

RIVE

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/01644/DCH	06/06/2019	Griffith	DORMER EXTENSIONS TO EXISTING HIPPED ROOF TO CREATE ADDITIONAL BEDROOM. ALTERATION TO REAR GROUND FLOOR LEAN TO ROOF TO CREATE A TERRACE TO FIRST FLOOR REAR BEDROOM. PROPOSED SUMMER HOUSE TO REAR OF GARDEN	40 SEVERN GROVE, PONTCANNA, CARDIFF, CF11 9EN	54	True	Permission be granted	30/07/2019
19/01623/DCH	12/06/2019	Ghazal	NEW BIKE SHED	1 SIR WALTER MEWS, SEVERN GROVE, PONTCANNA, CARDIFF, CF11 9EQ	47	True	Permission be granted	29/07/2019
19/01634/DCH	05/06/2019	George	REAR & REAR SIDE GROUND FLOOR EXTENSIONS	31 PLASTURTON GARDENS, PONTCANNA, CARDIFF, CF11 9HG	47	True	Permission be granted	22/07/2019

19/01392/DCH	08/05/2019	Douglas	SINGLE STOREY SIDE EXTENSION AND ASSOCIATED WORKS TO EXISTING DWELLING. EXISTING GARDEN STORE TO BE REPLACED AND EXTENDED	26 PLASTURTON GARDENS, PONTCANNA, CARDIFF, CF11 9HF	69	False	Permission be granted	16/07/2019
19/01465/DCH	29/05/2019	Elias	NEW HIPPED ROOF CONSERVATORY AT REAR TO FLAT A	95A SEVERN GROVE, PONTCANNA, CARDIFF, CF11 9EQ	48	True	Permission be granted	16/07/2019
19/01612/DCH	03/06/2019	Mason-Watts	PROPOSED ALTERATIONS TO EXISTING TERRACED HOUSE CONSISTING OF DEMOLITION OF EXISTING REAR BREAKFAST ROOM AND ERECTION OF NEW SINGLE STOREY DINING ROOM	226 NINIAN PARK ROAD, RIVERSIDE, CARDIFF, CF11 6JG	28	True	Permission be granted	01/07/2019
19/01684/DCH	10/06/2019	Edwards	ERECTION OF A GARAGE (2.5M(H) X 4.5M(W) X 5.0M(D)) TO THE REAR OF THE PROPERTY BACKING ONTO THE LANE BETWEEN GILESTON ROAD AND TEILO STREET. TO BE USED FOR STORAGE. PATIO 2.0M(D) X 4.5M(W) TO FRONT OF GARAGE	14 GILESTON ROAD, PONTCANNA, CARDIFF, CF11 9JS	36	True	Permission be granted	16/07/2019

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19/00507/MNR	15/03/2019	Dusty Knuckle Pizza Co.	CHANGE OF USE OF BUILDING AND ASSOCIATED CURTILAGE TO RESTAURANT (A3), TOGETHER WITH EXTENSIONS AND ASSOCIATED WORKS	WARDEN'S COTTAGE, COWBRIDGE ROAD EAST, SOPHIA GARDENS, CARDIFF	123	False	Permission be granted	16/07/2019
19/01174/MNR	14/05/2019	Zammit	RETENTION OF TIMBER SASH WINDOWS	127 CATHEDRAL ROAD, PONTCANNA, CARDIFF, CF11 9PJ	57	False	Permission be granted	10/07/2019
19/01209/MNR	15/04/2019	Donnelly	CONVERSION OF EXISTING BUILDING INTO 2NO. 1 BEDROOM FLATS	REAR OF 67 PLANTAGENET STREET, RIVERSIDE, CARDIFF, CF11 6AQ	85	False	Planning Permission be refused	09/07/2019

19/01662/MNR	14/06/2019	Huntingdon	INSTALL A REPLACEMENT ALUMINIUM FRAMED BUS SHELTER WITH ADDITIONAL SEATING	SOPHIA GARDENS, SOPHIA CLOSE, PONTCANNA	45	True	Permission be granted	29/07/2019
A/19/00071/MNR	26/06/2019	Huntingdon	ONE BUS STOP SIGN	SOPHIA GARDENS, SOPHIA CLOSE, PONTCANNA	33	True	Permission be granted	29/07/2019

RUMN

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19/01774/DCH	18/06/2019	Phillips	GROUND FLOOR SIDE/REAR FLAT ROOF EXTENSION TO ENLARGE EXISTING KITCHEN AND CONSTRUCTION OF HIPPED DORMER TO EXISTING HIPPED ROOF TO CREATE HEADROOM FOR PROPOSED STAIRCASE TO NEW BEDROOM IN ROOFSPACE WITH FLAT ROOF DORMER TO REAR	16 TRELAWNEY AVENUE, RUMNEY, CARDIFF, CF3 3JQ	42	True	Permission be granted	30/07/2019
19/01550/DCH	04/06/2019	Ms Wozencroft	GROUND FLOOR SIDE EXTENSION	37 TY-FRY GARDENS, RUMNEY, CARDIFF, CF3 3NP	43	True	Permission be granted	17/07/2019
19/01285/DCH	08/05/2019	Soloman	SINGLE STOREY EXTENSION TO REAR OF PROPERTY	34 CHURCH ROAD, RUMNEY, CARDIFF, CF3 3BA	63	False	Permission be granted	10/07/2019
19/01766/DCH	17/06/2019	Gattheridge	SINGLE STOREY REAR AND SIDE EXTENSION TO THE EXISTING DWELLING	246 NEW ROAD, RUMNEY, CARDIFF, CF3 3EF	36	True	Permission be granted	23/07/2019

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18/01073/MNR	04/05/2018	Warren	DEMOLITION OF VACANT WORKSHOP AND CONSTRUCTION OF A 2 BED DOMESTIC DWELLING.	142A WENTLOOG ROAD, RUMNEY, CARDIFF, CF3 3EB	447	False	Planning Permission be refused	25/07/2019
19/00549/MNR	07/03/2019	Mr Nava Navaratnarajah	DISCHARGE OF CONDITION 4 (HIGHWAY REINSTATEMENT WORKS) OF 17/02129/MNR	639 NEWPORT ROAD, RUMNEY, CARDIFF, CF3 4DJ	120	False	Full Discharge of Condition	05/07/2019
19/01535/MNR	22/05/2019	Kumon Cardiff Rumney Study Centre	CHANGE OF USE TO 1ST AND 2ND FLOOR TO D1 USE TO BE USED AS AN ENGLISH AND MATHS STUDY CENTRE (AFTER-SCHOOL TUITION) FOR CHILDREN	790 NEWPORT ROAD, RUMNEY, CARDIFF, CF3 4FH	63	False	Permission be granted	24/07/2019

SPLO

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/01439/MJR	13/05/2019	Dogs Trust	DISCHARGE OF CONDITION 19 (LANDSCAPE) OF 17/01824/MJR	LAND AT NETTLEFOLD ROAD, SPLOTT	50	True	Full Discharge of Condition	02/07/2019
<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/00584/MNR	13/03/2019	The Maltings Ltd	PROVISION OF NEW HARDWOOD GLAZED SCREEN TO ENCLOSE COURT YARD ON NORTH ELEVATION	THE MALTINGS, 2 EAST TYNDALL STREET, SPLOTT, CARDIFF, CF24 5EA	117	False	Permission be granted	08/07/2019
19/00585/MNR	13/03/2019	The Maltings Ltd	PROVISION OF NEW HARDWOOD GLAZED SCREEN TO ENCLOSE COURT YARD ON NORTH ELEVATION	THE MALTINGS, 2 EAST TYNDALL STREET, SPLOTT, CARDIFF, CF24 5EA	117	False	Permission be granted	08/07/2019
A/19/00060/MNR	15/05/2019	BSS	WAREHOUSE SIGNS	UNIT 3, TRIDENT TRADE PARK, GLASS AVENUE, SPLOTT, CARDIFF, CF24 5EP	49	True	Permission be granted	03/07/2019

19/01683/MNR	10/06/2019	Dr Sumanta Barua	USE OF PROPERTY AS A CLASS C4 FOUR BED HOUSE IN MULTIPLE OCCUPATION	4 HABERSHON STREET, SPLOTT, CARDIFF, CF24 2DX	37	True	Permission be granted	17/07/2019
A/19/00067/MNR	07/06/2019	Keyline	VARIOUS WAREHOUSE SIGNS	KEYLINE BUILDERS MERCHANTS LTD, FRESHMOOR ROAD, SPLOTT, CARDIFF, CF24 5ER	40	True	Permission be granted	17/07/2019

TROW

<u>Application Number</u>	<u>Registered</u>	<u>Applicant Name</u>	<u>Proposal</u>	<u>Location</u>	<u>Days taken to decision</u>	<u>8 Week target Achieved?</u>	<u>Decision</u>	<u>Decision Date</u>
19/00077/DCH	17/01/2019	Neal	PROPOSED INSTALLATION OF UNDERGROUND DOMESTIC SEWAGE TREATMENT PLANT	TY TO MAEN FARM, NEWTON ROAD, WENTLOOG, CARDIFF, CF3 2EJ	186	False	Permission be granted	22/07/2019
19/01493/DCH	22/05/2019	Wong	EXTENSION OVER EXISTING GARAGE, AND SOME INTERNAL ALTERATIONS	54 SANDERLING DRIVE, ST MELLONS, CARDIFF, CF3 0DJ	49	True	Permission be granted	10/07/2019
19/01776/DCH	18/06/2019	Roberts	SIDE/REAR GROUND FLOOR EXTENSION TO ENLARGE EXISTING KITCHEN	14 SANDERLING DRIVE, ST MELLONS, CARDIFF, CF3 0DA	35	True	Permission be granted	23/07/2019
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ITEM 01: GARDEN SHEDS
RELOCATED AND PAVED AREAS
INCREASED TO SUIT.
ITEM 02: BIN STORE CHANGE TO
AFFORDABLE UNITS - ALL
AFFORDABLE PLOTS TO BE
REVIEWED AND RE-ARRANGED
ACCORDINGLY.
ITEM 03: REVISED DRIVE
CONFIGURATION FOR PLOT 48: THE
DRIVE WAY HAS BEEN
RECONFIGURED.
ITEM 04: SPRINKLER CABINET
ADDITION ADJACENT TO THE MAIN
ENTRANCE OFF CRICKHOWELL
ROAD.
ITEM 05: ADD IN THE POST AND RAIL
FENCE TO THE BACK EDGING OF
CRICKHOWELL RD AND REMOVE
PROPOSED ADOPTED FOOTPATH
LINKING FROM SITE (OPPOSITE
PLOT 1) ONTO CRICKHOWELL RD
ITEM 06: ADD KNEE RAIL FENCE
AROUND THE GRASS AREA TO THE
SIDE OF PLOT 31 (LCHO UNIT)
ITEM 07: ADDITIONAL FENCING TO
BE ADDED TO THE REAR OF PLOTS
1 - 4.
ITEM 08: OMIT PATH TO FRONT OF
PLOT 18
ITEM 09: DISABLED PARKING SPACE
ADDED, PARKING BAYS
LANDSCAPING ADJUSTED TO SUIT.
ITEM 10: OMIT LIGHTING COLUMNS
TO THE REAR GARDENS OF THE
AFFORDABLE APARTMENTS AND
CENTRAL COURTYARD. EXTERNAL
WALL LIGHTS WILL BE FIXED TO THE
OUTSIDE OF THE AFFORDABLE
APARTMENT BLOCKS.
ITEM 11: CORRECT
ACCOMMODATION SCHEDULE TO
REFLECT 187 UNITS ON THE
REVISED PLANNING APPROVED SITE
LAYOUT
PREVIOUSLY APPROVED UNDER
18/01436/MJR

WEST OF WILLOWBROOK
DRIVE AND THE SOUTH
OF CRICKHOWELL ROAD,
CARDIFF

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19/01257/MNR	01/05/2019	JHJ	INSTALLATION OF NEW EXTERNAL GARDEN CENTRE CANOPY STRUCTURE TO WHAT RETAIL STORE	UNITS 1 AND 2, WILLOWBROOK NEIGHBOURHOOD CENTRE, STRATHY ROAD, ST MELLONS, CARDIFF, CF3 0SH	77	False	Permission be granted	17/07/2019
19/01447/MNR	13/05/2019	K & L Vehicle Dismantlers	ERECTION OF WORKSHOP UNIT	K & L DISMANTLERS, WENTLOOG ROAD, RUMNEY, CARDIFF, CF3 2EE	60	False	Permission be granted	12/07/2019

WHI

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19/01342/DCH	01/05/2019	Bedford	DORMER EXTENSION TO REAR OF PROPERTY INCORPORATING FORMING OF GABLE	4 HEOL PANTYCELYN, WHITCHURCH, CARDIFF, CF14 7BX	76	False	Permission be granted	16/07/2019
19/01515/DCH	21/05/2019	Williams	REAR SINGLE STORY EXTENSION	9 WELLINGTON STREET, TONGWYNLAIS, CARDIFF, CF15 7LP	49	True	Permission be granted	09/07/2019
19/01388/DCH	08/05/2019	Evans	PROPOSED ALTERATIONS TO EXISTING DWELLING AT GROUND FLOOR LEVEL INCLUDING REMOVAL OF EXISTING LEAN-TO ROOF AND INSERTION OF NEW FLAT ROOF, AND MINOR EXTERNAL ALTERATIONS	49 BISHOP'S ROAD, WHITCHURCH, CARDIFF, CF14 1LU	78	False	Permission be granted	25/07/2019
19/01319/DCH	03/05/2019	Claydon	LOFT CONVERSION TO CREATE ADDITIONAL BEDROOM AND BATHROOM WITH ASSOCIATED WORKS	4 REGENT GARDENS, WHITCHURCH, CARDIFF, CF14 7BH	59	False	Permission be granted	01/07/2019

19/01656/DCH	06/06/2019	Coomber	PROPOSED SINGLE STOREY REAR & SIDE EXTENSION	11 HEOL COED CAE, WHITCHURCH, CARDIFF, CF14 1HJ	49	True	Permission be granted	25/07/2019
19/01642/DCH	05/06/2019	Green	PORCH	20 CASTLE ROAD, TONGWYNLAIS, CARDIFF, CF15 7JQ	54	True	Permission be granted	29/07/2019
19/01760/DCH	19/06/2019	Hale	TO FULLY RENDER EXTENSION & EXISTING PROPERTY - PREVIOUSLY APPROVED UNDER 17/01310/DCH	201 TY-MAWR ROAD, WHITCHURCH, CARDIFF, CF14 2HG	19	True	Permission be granted	08/07/2019
19/01621/DCH	07/06/2019	Sidorenko	GROUND AND FIRST FLOOR EXTENSIONS	15 CAMBOURNE AVENUE, WHITCHURCH, CARDIFF, CF14 2AQ	40	True	Permission be granted	17/07/2019
19/01898/DCH	03/07/2019	Schmidt	TWO STOREY FRONT ENTRANCE HALL WITH LOFT CONVERSION WITH FRONT AND REAR DORMERS AND RAISED RIDGE	2 MANOR RISE, WHITCHURCH, CARDIFF, CF14 1QJ	27	True	Planning Permission be refused	30/07/2019
19/01761/DCH	20/06/2019	Organ	1) ADD AND ADDITIONAL WINDOW IN THE NEW PORCH 2) CHANGE THE SANDSTONE COPING DESIGN 3) REUSE THE EXISTING FRENCH DOORS REMOVED FROM THE HOUSE IN LIEU OF THE SINGLE DOOR IN THE SIDE UTILITY ROOM PREVIOUSLY APPROVED UNDER 17/01413/DCH	MAPLE LODGE, HEOL DON, WHITCHURCH, CARDIFF, CF14 2AR	28	True	Permission be granted	18/07/2019
19/01962/DCH	11/07/2019	Woolley	FRONT OF PROPERTY IS CONSERVATION AREA. IN BACK GARDEN, REMOVAL OF PATIO TO LEVEL OF GRASS AND BUILDING OF PROPOSED GARDEN SHED. MAX HEIGHT LESS THAN 2.5m, PENT ROOF, SLOPING DOWN FROM FRONT TO BACK. WIDTH 7.5m, DEPTH 4.8M, 2 WINDOWS, 1 EITHER SIDE OF DOUBLE DOOR ON FRONT FACADE. MADE OF CONCRETE BLOCKS WITH RUBBER FINISH ROOF. PROPOSED SHED WILL BE JUST WITHIN 20m OF BACK OF MAIN HOUSE EXTENSION	41 HEOL DON, WHITCHURCH, CARDIFF, CF14 2AS	18	True	Permission be granted	29/07/2019

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19/01670/MNR	06/06/2019	Mr Abdul Kowser	PROPOSED FORECOURT SEATING WITH RAILING TO RAMP AND RETRACTABLE CANOPY	77A MERTHYR ROAD, WHITCHURCH, CARDIFF, CF14 1DD	43	True	Permission be granted	19/07/2019
19/00511/MNR	06/03/2019	Cardiff Council Housing & Communities Neighbourhood	EXTERNAL REPAIR AND INTERNAL REFURBISHMENT WORKS TO THE ORIGINAL BUILDING, ALTERATIONS TO THE EXISTING EXTENSION, PROPOSED SINGLE-STOREY EXTENSION AND ASSOCIATED EXTERNAL WORKS	WHITCHURCH LIBRARY, PARK ROAD, WHITCHURCH, CARDIFF, CF14 7XA	128	False	Permission be granted	12/07/2019
19/01687/MNR	13/06/2019	Willams	1) PITCHED ROOF TO REPLACE EXISTING FLAT ROOF 2) OPEN PORCH 3)TIMBER CLADDING AND RENDER TO EXTERNAL WALLS	WHITCHURCH HIGH UPPER SCHOOL, PENLLINE ROAD, WHITCHURCH, CARDIFF, CF14 2XJ	36	True	Permission be granted	19/07/2019